



Vision

THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING, COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.

The Vision Statement for the City of Bettendorf outlines what Bettendorf wants in the future. Our preferred future is defined in value-based principles that can guide policies, decisions, and operations. The City of Bettendorf is a Premier City in which to live.

**BETTENDORF CITY COUNCIL
COMMITTEE OF THE WHOLE
COUNCIL CHAMBERS – CITY HALL**

**MONDAY, JUNE 2, 2025
5:00 P.M.**

The Bettendorf City Council Committee of the Whole meeting will be open to the public. Additionally, the City of Bettendorf will broadcast this public meeting online at www.bettendorf.org/YouTube

AGENDA

I. PRESENTATION

Community Survey Results for proposed new police facility – John Mahon, Vice President-Quad Cities, Bray Architects, Nathan Billany, Director of Business Development, Estes Construction, and Scott Girard, Project Manager, Community Perceptions

II. ITEMS TO APPEAR

- ~~Resolution authorizing the Director of Parks & Recreation to issue a purchase order for a Musco Lighting Mini-Pitch Futsal Court – Parks & Recreation Director John Byrnes~~ **(Items to Appear 11) REMOVED BY STAFF 6/2/25**
- First reading of an ordinance amending Bettendorf City Code Title 4 – Health, Sanitation and Environment, Chapter 3 – Open Burning – Fire Chief Troy Said **(Items to Appear 12)**

III. CONSENT AGENDA ITEMS

- Resolution approving an appeal to the offer price for a home (1112 Parkway Drive) as part of the Flood Grant Buyout Program (Sub-Award Agreement No. DR-4557-0045) – Community Development Director Mark Hunt **(Consent E)**

IV. REMAINING CONSENT AGENDA ITEMS

V. ITEMS ADDED BY MAYOR AND COUNCIL

VI. ADJOURN

**CITY OF BETTENDORF CITY COUNCIL MEETING
COUNCIL CHAMBERS – CITY HALL**

**TUESDAY, JUNE 3, 2025
7:00 P.M.**

The Bettendorf City Council meeting will be open to the public. Additionally, the City of Bettendorf will broadcast this public meeting online at www.bettendorf.org/YouTube

AGENDA

1. ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. INVOCATION

Given by Pastor Tim Bonney of Asbury United Methodist Church

4. RECOGNITION

Respect for Law Award presented to Officer Dennis Tripp by Bettendorf Optimist Club

5. RECOGNITION

Iowa School Nurse of the Year Award – Jordan Drane, BSN, RN, Mark Twain Elementary School and President of the Iowa School Nurse Organization

6. PUBLIC REQUESTS OF COUNCIL

The public is welcome to make a request of council on any item not already on the agenda for public hearing. Please limit your comments to two minutes. Please try not to be repetitive. Please refrain from outbursts, like clapping and yelling. Please be respectful with your comments.

7. PUBLIC HEARING

Regarding the 2025 Alley Rehabilitation Program

8. RESOLUTION

Council Member Baden to present a resolution approving the plans, specifications, and form of contract for the 2025 Alley Rehabilitation Program

9. PUBLIC HEARING

Regarding the 27th Street and Erin Street Reconstruction Project

10. RESOLUTION

Council Member Naumann to present a resolution approving the plans, specifications, and form of contract for the 27th Street and Erin Street Reconstruction Project

11. RESOLUTION – Removed by staff 6/2/25

~~Council Member Brown to present a resolution authorizing the Director of Parks and Recreation to issue a purchase order to Museo Sports Lighting for the addition of a mini-pitch futsal court at Veterans Memorial Park~~

12. ORDINANCE

Council Member Baden to present the first reading of an ordinance amending Bettendorf City Code Title 4 – Health, Sanitation and Environment, Chapter 3 – Open Burning

13. ORDINANCE

Council Member Palczynski to present the second reading of an ordinance amending the Bettendorf, Iowa Zone Map for property generally located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80, A-1, Agricultural /Urban Reserve District to R-2, Single-Family Residence District, submitted by Windmill Development, L.L.C. (Case 25-016-REZ)

14. ORDINANCE

Council Member Palczynski to present the second reading of an ordinance amending the Bettendorf, Iowa Zone Map for property generally located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80, A-1, Agricultural /Urban Reserve District to C-3, General Business District, submitted by Windmill Development, L.L.C. (Case 25-017-REZ)

15. ORDINANCE

Council Member Sechser to present the second reading of an ordinance amending Bettendorf City Code Section 11-4-5B, entitled "Commercial and Parking Permitted Use Table" (Case 25-018-ORD)

16. ORDINANCE – Staff recommends waiver of the third reading

Council Member Jager to present the second reading of an ordinance amending Bettendorf City Code Section 7-4-2, entitled "Location of Poles; Council Authority"

17. RESOLUTION – (CONSENT AGENDA B ADDED AT COMMITTEE OF THE WHOLE MEETING AT REQUEST OF COUNCIL MEMBER JAGER 6/2/25)

Council Member Naumann to present a resolution authorizing the Director of Finance to issue a purchase order and enter into a contract with BakerTilly Advisory Group for the completion of an across-the-board sanitary sewer rate study

18. CONSENT AGENDA

19. ADJOURN

CONSENT AGENDA

JUNE 3, 2025

ALL ITEMS APPEARING BELOW ARE CONSIDERED ROUTINE BY THE CITY COUNCIL AND SHALL BE ENACTED BY ONE MOTION. IF DISCUSSION IS DESIRED, THAT ITEM SHALL BE REMOVED AND DISCUSSED SEPARATELY

- A. Minutes from May 19, 2025, and May 20, 2025 (Approve and Adopt)
- B. **MOVED TO ITEMS TO APPEAR #17 AT REQUEST OF COUNCIL MEMBER JAGER AT COMMITTEE OF THE WHOLE MEETING 6/2/25**
- C. Resolution approving the Right of Way Construction Agreement between the city of Bettendorf and Comcast of Illinois/Indiana/Ohio, LLC. (Approve and Adopt)
- D. Resolution approving a preconstruction agreement with the Iowa Department of Transportation for the I-80 and Middle Road Interchange Reconstruction Project. (Approve and Adopt)
- E. Resolution approving an appeal to the offer price for a home (1112 Parkway Drive) as part of the Flood Grant Buyout Program (Sub-Award Agreement No. DR-4557-0045). (Approve and Adopt)
- F. Resolution approving the Civil Service List submitted for the Parks Maintenance Laborer position in the Public Works Department. (Approve and Adopt)
- G. Resolution approving the Civil Service List submitted for the Sanitation Worker position in the Public Works Department. (Approve and Adopt)
- H. Resolution approving the Civil Service List submitted for the Police Captain position in the Police Department. (Approve and Adopt)
- I. Resolution approving the Civil Service List submitted for the Police Lieutenant position in the Police Department. (Approve and Adopt)

- J. Resolution reappointing Catherine Duda and Katherine Roberts to the city of Bettendorf's Park Advisory Board. (Approve and Adopt)
- K. Resolution approving mobile food unit licenses for Sweet Shardaë, Smokin Goodness and Bragg BBQ. (Approve and Adopt)
- L. Resolution approving Tobacco Retailer Permits and Device Retailer Permit(s). (Approve and Adopt)
- M. Resolution approving alcohol license renewals and requests for Clarion Pointe, Hy-Vee Club Room, Hy-Vee Fast & Fresh, Walgreens Stores #05512 and #06553, Desi Monk's, and Ray's Roundabout Lounge. (Approve and Adopt)
- N. Bills (Approve payment and direct City Clerk to issue checks in respective amounts)

COUNCIL LETTER

MEETING DATE: June 3, 2025
REQUESTED BY: Brian Fries, P.E., Assistant City Engineer



Item Title

Public hearing for the 2025 Alley Rehabilitation Program.

Resolution approving the plans, specifications and form of contract for the 2025 Alley Rehabilitation Program.

Explanation

The proposed improvements consist of rehabilitating five (5) alley segments totaling approximately 1,680 linear feet. The alleys vary in width from ten (10') feet to fourteen (14') feet. The proposed improvements consist of milling the existing surface, placement of granular subbase and resurfacing with Hot Mix Asphalt (HMA). The program also includes partial construction of driveways, sodding, and other work related to reconstructing the alleys. The following alleys under this year's program include:

- 15th St to 16th St north of Mississippi Blvd
- 16th St to 17th St between Brown St and Mississippi Blvd
- 17th St to 18th St between Brown St and Mississippi Blvd
- 18th St to Mississippi Blvd north of Brown St
- 15th St to 16th St between Brown St and Grant St

By the end of the 2026 construction season, staff anticipates that all sixty-five (65) asphalt/sealcoat alleys will have been reconstructed throughout the City.

Relationship to Goals: Upgraded City Infrastructure & Public Facilities.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

This project (PW0592) was approved with a total budget of \$450,000 within the Community Improvement Program (CIP).

List Attachments

Resolution; Plans and Specifications (on file in the office of the City Engineer).

RESOLUTION NO. _____-25

**RESOLUTION APPROVING THE PLANS, SPECIFICATIONS, AND FORM OF CONTRACT FOR THE
2025 ALLEY REHABILITATION PROGRAM**

WHEREAS, plans, specifications, notice to bidders and form of contract are on file in the office of the City Engineer for construction of certain improvements to the street system of said city; namely the

2025 Alley Rehabilitation Program

WHEREAS, notice of hearing on the specifications, and form of contract was published as required by law, and

WHEREAS, a public hearing on the plans, specifications, and form of contract was held in the City Hall Council Chambers, 1609 State Street, Bettendorf, Iowa, at 7:00 o'clock p.m. on the 3rd day of June, 2025.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the plans, specifications, and form of contract be approved and adopted as the plans, specifications, and form of contract for said improvements.

Passed, Approved and Adopted this 3rd day of June, 2025.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk

COUNCIL LETTER

MEETING DATE: June 3, 2025
REQUESTED BY: Pat Lynch, P.E., Assistant City Engineer



Item Title

Public hearing for the 27th Street and Erin Street Reconstruction Project.

Resolution approving the plans, specifications and form of contract for the 27th Street and Erin Street Reconstruction Project.

Explanation

The proposed improvements consist of reconstructing approximately 3,290 square yards of various pavements with new six-inch (6") Portland Cement Concrete (PCC) pavement on a drainable subbase with sub-drains. Also included with this project is the removal and replacement of driveway approaches, storm sewer installation, sanitary sewer installation, manhole installations and adjustments, watermain, hydrant, water valve, and water service installations, sodding, erosion control, and other work related to reconstructing these streets.

Relationship to Goals: Upgraded City Infrastructure & Public Facilities.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

The overall project (PW0609 & PW0610) was approved with a total budget of \$750,000 within the Community Improvement Program (CIP).

List Attachments

Resolution; Plans and Specifications (on file in the office of the City Engineer).

RESOLUTION NO. _____-25

**RESOLUTION APPROVING THE PLANS, SPECIFICATIONS, AND FORM OF CONTRACT FOR THE
27TH STREET AND ERIN STREET RECONSTRUCTION PROJECT**

WHEREAS, plans, specifications, notice to bidders and form of contract are on file in the office of the City Engineer for construction of certain improvements to the street system of said city; namely the

27th Street and Erin Street Reconstruction Project

WHEREAS, notice of hearing on the specifications, and form of contract was published as required by law, and

WHEREAS, a public hearing on the plans, specifications, and form of contract was held in the City Hall Council Chambers, 1609 State Street, Bettendorf, Iowa, at 7:00 o'clock p.m. on the 3rd day of June, 2025.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the plans, specifications, and form of contract be approved and adopted as the plans, specifications, and form of contract for said improvements.

Passed, Approved and Adopted this 3rd day of June, 2025.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk

COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: Troy Said, Fire Chief



Item Title

Ordinance amending Title 4 Health, Sanitation and Environment, Chapter 3 Open Burn, of the Bettendorf City Code.

Explanation

During goal setting last Fall, one of the priorities from the Council and City Administration was to review and update our city ordinances, if needed. The Open Burn ordinance hasn't been updated for several years, so it has been rewritten for a clearer understanding of what can and cannot be burned.

The two major proposed changes to the Open Burn ordinance are the hours and frequency in which "open fires" and "recreational fires" can be held. Guidelines have been established for each, providing specific information for compliance and safety.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments

Ordinance
Ordinance – Red Line
Open Burn Guidelines
Recreation Guidelines

Return to: Michelle Spencer, Bettendorf City Hall, 1609 State Street, Bettendorf, IA 52722

ORDINANCE NO. _____ - 25

**ORDINANCE AMENDING TITLE 4 – HEALTH, SANITATION AND ENVIRONMENT,
CHAPTER 3 – OPEN BURNING
OF THE BETTENDORF CITY CODE**

Section 1. BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that Title 4 – Health, Sanitation and Environment, Chapter 3 – Open Burning of the Bettendorf City Code is hereby deleted and the following substituted therefor:

4-3-1: OPEN BURNING PROHIBITED: No person shall allow, cause, or permit open burning of combustible materials, except as provided in City Code section 4-3-2. The term “open burning” shall mean any burning of combustible materials where the products of combustion are emitted into the open air without passing through a chimney or stack.

4-3-2: EXCEPTIONS:

A. Open burning of the following types is permitted, in compliance with Fire Department guidelines and subject to regulations in the Iowa Administrative Code:

1. Fireplaces, wood burning stoves, barbecue grills, and propane or natural gas fueled devices may be used for the purposes intended by such items.

2. Open fires for cooking, heating, recreation and ceremonies shall be allowed when such fire is composed of dry wood or commercial fireplace logs and the location of such fire, and the items necessary for its containment comply with the provisions of the fire code. However, all such fires are only permitted between 9:00 a.m. and 11:00 p.m. and must be completely extinguished by 11:00 p.m. or at the discretion of the Fire or Police Department.

3. Upon permit of the fire chief or assistant fire chief, and payment of a ten-dollar (\$10.00) permit fee, the following additional items may be burned between the hours of 9:00 a.m. and 5:00 p.m. and must be completely extinguished by 5:00 p.m. or at the discretion of the Fire or Police Department:

a. Disaster rubbish resulting from cleanup of an area within specifically designated disaster zones.

b. Trees and tree trimmings by a local governmental entity.

c. Waste gases via a flare stack.

d. Landscape waste such as vegetable matter waste produced in clearing, grubbing, and construction and development operations is limited to areas located at least one-quarter mile from any building inhabited by anyone other than the landowner or tenant conducting the open burning.

e. Training fires as set for bona fide training of public or industrial employees in firefighting methods.

f. Paper pesticide containers and seed corn bags resulting from farming activities occurring on the premises.

B. Conditions Of Permit: All such permits shall be subject to compliance by the applicant with the fire code and guidelines implemented by the Fire Department, and any regulation in the Iowa Administrative Code regarding such activity. (2008 Code § 11-2)

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase, or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section 3. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publications as required by law.

Section 4. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

Section 5. Municipal Infraction. Any person, persons, firm, partnerships, or corporations, whether acting alone or in concert with any other, who violates this ordinance shall be guilty of a municipal infraction and shall be penalized as set forth in Section 1-9 of the City Code of the City of Bettendorf, Iowa.

PASSED, APPROVED, AND ADOPTED this ____ day of _____, 2025.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

CHAPTER 3
OPEN BURNING

SECTION:

4-3-1: Burning Leaves And Other Material

4-3-1: ~~BURNING LEAVES AND OTHER MATERIAL: OPEN BURNING PROHIBITED:~~ No person shall allow, cause, or permit open burning of combustible materials, except as provided in City Code section 4-3-2. The term “open burning” shall mean any burning of combustible materials where the products of combustion are emitted into the open air without passing through a chimney or stack.

~~—A. Prohibited Burning; Exceptions; Permit And Fee: Leaves, trees, tree trimmings, grass, rubbish, residential waste, or garbage shall not be burned within the city, except as follows:~~

4-3-2: EXCEPTIONS:

A. Open burning of the following types is permitted, in compliance with Fire Department guidelines and subject to regulations in the Iowa Administrative Code:

1. Fireplaces, wood burning stoves, ~~and~~ barbecue grills, and propane or natural gas fueled devices may be used for the purposes intended by such items.
2. Open fires for cooking, heating, recreation and ceremonies shall be allowed when such fire is ~~not~~ composed ~~in whole or substantial part of leaves of dry wood or commercial fireplace logs~~ and the location of such fire, and the items necessary for its containment, comply with the provisions of the fire code. However, all such fires ~~shall be limited as follows:~~
 - ~~a. No fire shall continue beyond ten o'clock (10:00) P.M. are only permitted between 9:00 a.m. and 11:00 p.m. and must be completely extinguished by 11:00 p.m. or at the discretion of the Fire or Police Department.~~
 - ~~— b. No property shall be used for a fire as allowed in this subsection A2 more than once in a seven (7) consecutive day period.~~
3. Upon permit of the fire chief or assistant fire chief, and payment of a ~~ten dollar~~ ten-dollar (\$10.00) permit fee, the following additional items may be burned between the hours of 9:00 a.m. and 5:00 p.m. and must be completely extinguished by 5:00 p.m. or at the discretion of the Fire or Police Department:
 - a. Disaster rubbish resulting from cleanup of an area within specifically designated disaster ~~areas~~ zones.
 - b. Trees and tree trimmings by a local governmental entity.
 - c. Waste gases via a flare stack.

d. Landscape waste such as vegetable matter waste produced in clearing, grubbing and construction, and development operations is limited to areas located at least one-quarter mile from any building inhabited by anyone other than the landowner or tenant conducting the open burning.

e. Training fires as set for bona fide training of public or industrial employees in firefighting methods.

f. Paper/~~plastic~~ pesticide containers and seed corn bags resulting from farming activities occurring on the premises.

B. Conditions Of Permit: All such permits shall be subject to compliance by the applicant with the fire code, and guidelines implemented by the Fire Department, and any regulation in the Iowa administrative code regarding such activity. (2008 Code § 11-2)



OPEN BURNING PERMIT GUIDELINES:

The City of Bettendorf provides yard waste pickup throughout the year and is free for two (2) weeks in the spring and six (6) weeks in the fall. This service should be used prior to the request for an open burn permit.

To apply for an Open Burning Permit, contact the Bettendorf Fire Department at 1609 State Street or by phone (563 344-4030) Monday through Friday from 7:30 am-4:00 pm a minimum of 24 hours in advance of the day you want to burn. Permits must be readily available at the burn site upon request of the Fire or Police officials. All such permits shall be subject to compliance by the applicant with the fire code requirements listed below, and any regulation in the Iowa Administrative Code. The permit site may be subject to inspection by the fire code official prior to the issuance of an open burning permit. **Construction materials, garbage, or other man-made products shall not be burned at any time.**

1. No fire may be kindled when wind velocity exceeds fifteen (15) miles per hour.
2. Open burning shall be constantly attended by a competent person until the fire is extinguished.
3. Approved on-site fire extinguishment equipment must be available for immediate utilization.
4. Open burning shall be only permitted from 9:00 am - 5:00 pm daily, year-round. All open fires must be completely extinguished at 5:00 pm.
5. The burn pile shall not be composed in whole or substantial part of leaves, and may be no more than eight (8) feet in diameter, and must be no closer than fifty (50) feet from the nearest structure. This may be reduced to twenty-five (25) feet if the pile is no larger than three (3) feet in diameter and two (2) feet in height.
6. No more than two (2) permits will be issued to a property per calendar year for open burning unless approved by the Fire Chief or Assistant Chief. Permits shall be issued for one (1) day only within a seven (7) consecutive day period. The permit may be reissued or extended due to the weather.



7. Before the fire is started, the applicant shall advise the SECC Dispatch Center (563-388-3694) and give notice of intent to start. After the burn is completed, the applicant shall again call the Dispatch Center and give notice that the fire is extinguished.

Discontinuance: The Fire Department or Police Department shall reserve the right to order the extinguishment of **ANY** fire, at any time, at the sole discretion of any fire officer, acting fire officer or police officer if it is determined that smoke emissions are offensive to occupants of surrounding property or if the fire constitutes a hazardous condition to life or property.

Illegal Burning: Illegal burning can result in a municipal infraction. The Bettendorf Fire Department or Police Department follows up on all burn complaints and may issue a warning or citation for failure to comply with the burning provisions of the International Fire Code and Bettendorf Municipal Code for any fire.

Burn Bans: The Fire Chief, or his/her designee, shall reserve the right to place a "Burn Ban" into effect prohibiting all or any outdoor burning for a specified amount of time. The City of Bettendorf complies with all burn bans issued by Scott County and / or the State of Iowa.



RECREATIONAL FIRE GUIDELINES:

Recreational fires using solid fuels for cooking, heating, recreation, and ceremonies shall be allowed when such fire is composed of dry wood / logs twelve (12) inches in diameter or less or commercial fireplace logs. **Brush, leaves, landscape waste, and construction materials are prohibited in recreational fires.** The location of such fire, and the items necessary for its containment, must comply with the provisions of the fire code. A permit is not required for a recreational fire; however, all such fires shall be limited as follows:

1. Recreational fires shall be limited to three (3) feet or less in diameter and two (2) feet or less in height.
2. Recreational fires shall be located at least twenty-five (25) feet from any structure or combustible materials. The distance may be reduced to fifteen (15) feet if a self-contained manufactured portable outdoor unit is used in accordance with manufactures instructions and is covered with a protective mesh screen top.
3. Recreational fires shall be constantly attended by a competent person until the fire is extinguished. Approved on-site fire extinguishment equipment must be available for immediate utilization.
4. Recreational fires shall be limited to between the hours of 9:00 am and 11:00 pm. All recreational fires must be completely extinguished at 11:00 pm.

Conventional Fuel Materials: Outdoor fire features, fire pits, heaters and cooking appliances that run solely off propane or natural gas should be used per manufactures instructions and don't have any restrictions on frequency or hours of use.

Discontinuance: The Fire Department or Police Department shall reserve the right to order the extinguishment of **ANY** fire, at any time, at the sole discretion of any fire officer, acting fire officer or police officer if it is determined that smoke emissions are offensive to occupants of surrounding property or if the fire constitutes a hazardous condition to life or property.



Illegal Burning: Illegal burning can result in a municipal infraction. The Bettendorf Fire Department or Police Department follows up on all burn complaints and may issue a warning or citation for failure to comply with the burning provisions of the International Fire Code and Bettendorf Municipal Code for any fire.

Burn Bans: The Fire Chief, or his/her designee, shall reserve the right to place a "Burn Ban" into effect prohibiting all or any outdoor burning for a specified amount of time. The City of Bettendorf complies with all burn bans issued by Scott County and / or the State of Iowa.

COUNCIL LETTER

MEETING DATE: May 6, 2025 (SPH)
May 20, 2025 (HPH)

REQUESTED BY: Mark Hunt
Community Development Director



Item Title

Resolution setting a date for public hearings on rezoning requests for property located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80. (5/6/25)

- A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Windmiller Development, LLC, Pleasant Valley Community School District, and Forest Grove Schoolhouse Preservation. (Case 25-016-REZ) (SPH)
- A-1 Agricultural/Urban Reserve District to C-3 General Business District, submitted by Windmiller Development, LLC. (Case 25-017-REZ) (SPH)

Public hearing and first reading of ordinances rezoning property located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80. (5/20/25)

- A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Windmiller Development, LLC, Pleasant Valley Community School District, and Forest Grove Schoolhouse Preservation. (Case 25-016-REZ) (HPH)
- A-1 Agricultural/Urban Reserve District to C-3 General Business District, submitted by Windmiller Development, LLC. (Case 25-017-REZ) (HPH)

Explanation

Windmiller Development, LLC, Pleasant Valley Community School District, and Forest Grove Schoolhouse Preservation has submitted a request to rezone approximately 94.34 acres of land located north of Forest Grove Drive, west of Wells Ferry Road, and south of I-80 from A-1 to R-2. In addition, Windmiller Development, LLC has submitted a request to rezone approximately 16.84 acres of land in the same area from A-1 to C-3. Property contained within the rezoning area is currently farmland, except for the Forest Grove Schoolhouse, and was recently annexed into the City of Bettendorf. Proposed uses of the entire area include an 88-lot, single-family subdivision, a future Pleasant Valley Community School District school, the existing Forest Grove schoolhouse (a historic structure), and indoor commercial storage units.

The rezoning requests align with the Future Land Use Map, and the proposed development addresses multiple Comprehensive Plan goals including preserving environmentally sensitive areas, implementing the annexation 7-point strategies, and enhancing community character with improved education services making Bettendorf a great place to live.

The Planning and Zoning Commission made a recommendation for approval of the rezoning requests at their April 16, 2025 meeting.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List attachments

Resolution; Ordinances; (A) Staff Report with attachments; (B) Planning and Zoning Commission report to Mayor and City Council; (C) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter.

RESOLUTION NO. _____ - 25

**RESOLUTION SETTING A DATE FOR PUBLIC HEARING ON REZONING OF
PROPERTY GENERALLY LOCATED NORTH OF FOREST GROVE DRIVE, WEST OF WELLS
FERRY ROAD, AND SOUTH OF INTERSTATE 80**

**A-1 AGRICULTURAL/URBAN RESERVE DISTRICT TO
R-2 SINGLE-FAMILY RESIDENCE DISTRICT (CASE 25-016-REZ)**

**A-1 AGRICULTURAL/URBAN RESERVE DISTRICT TO
C-3 GENERAL BUSINESS DISTRICT (CASE 25-017-REZ)**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that a date for public hearings be set for May 20, 2025, at 7:00 p.m., City Hall Council Chambers, 1609 State Street, on the matter of two rezoning requests for property generally located at north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80:

25-016-REZ A-1 Agricultural/Urban Reserve District to R-2 Single Family Residence District
25-017-REZ A-1 Agricultural/Urban Reserve District to C-3 General Business District

PASSED, APPROVED, AND ADOPTED this 6th day of May 2025.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

Return to: Michelle Spencer, City of Bettendorf, 1609 State Street, Bettendorf, IA 52722

ORDINANCE NO. _____ - 25

**ORDINANCE AMENDING THE BETTENDORF, IOWA ZONING MAP FOR
PROPERTY GENERALLY LOCATED NORTH OF FOREST GROVE DRIVE,
WEST OF WELLS FERRY ROAD, AND SOUTH OF INTERSTATE 80
A-1 AGRICULTURAL/URBAN RESERVE DISTRICT TO
R-2 SINGLE-FAMILY RESIDENCE DISTRICT**

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF,
IOWA,

Section 1. That the Bettendorf, Iowa, Zoning Map referred to in Section 4, and being a part of the Zoning Ordinance of the City of Bettendorf, Iowa, 1959, insofar as the said map pertains to property generally located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80 and legally described as follows:

Being part of corrected auditor's parcel a as recorded in 2024-5174, all of Auditor's Parcel B as recorded in 2024-5420, and all of the lease parcel as recorded in 2022-24374 of the Scott County Recorder's Office, City of Bettendorf, Scott County, Iowa, except the northern portion of said corrected Auditor's Parcel A more particularly described as:

Beginning at the northwest corner of said corrected Auditor's Parcel A;

Thence N87°43'35"E, 662.59 feet;

Thence S81°51'18"E, 189.70 feet;

Thence N86°32'59"E, 940.47;

Thence S20°07'51"E, 425.71 feet;

Thence S78°05'05"W, 853.49 feet;

Thence N70°28'47"W, 1161.59 feet;

Thence N02°15'48"W, 131.87 feet to the point of beginning.

All in the city of Bettendorf, Scott County, Iowa. Described area contains 94.34 acres and is subject to easements and other restrictions of record.

and which is now zoned A-1 Agricultural/Urban Reserve District, is hereby repealed and said described land shall hereinafter be zoned R-2 Single-Family Residence District, and the following Zoning Map, which is attached hereto and incorporated herewith and made a part thereof, as the same pertains to said area, is enacted as a substitute and in lieu of said District Map.

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase, or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section 3. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publication as required by law.

Section 4. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

PASSED, APPROVED, AND ADOPTED this _____ day of _____, 2025.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

Return to: Michelle Spencer, City of Bettendorf, 1609 State Street, Bettendorf, IA 52722

ORDINANCE NO. _____ - 25

**ORDINANCE AMENDING THE BETTENDORF, IOWA ZONING MAP FOR
PROPERTY GENERALLY LOCATED NORTH OF FOREST GROVE DRIVE,
WEST OF WELLS FERRY ROAD, AND SOUTH OF INTERSTATE 80
A-1 AGRICULTURAL/URBAN RESERVE DISTRICT TO
C-3 GENERAL BUSINESS DISTRICT**

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF,
IOWA,

Section 1. That the Bettendorf, Iowa, Zoning Map referred to in Section 4, and being a part of the Zoning Ordinance of the City of Bettendorf, Iowa, 1959, insofar as the said map pertains to property generally located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80 and legally described as follows:

Being the northern portion of corrected Auditor's Parcel A as recorded in 2024-5174 of the Scott County Recorder's Office more particularly described as:

Beginning at the northwest corner of said corrected Auditor's Parcel A;

Thence N87°43'35"E, 662.59 feet;

Thence S81°51'18"E, 189.70 feet;

Thence N86°32'59"E, 940.47;

Thence S20°07'51"E, 425.71 feet;

Thence S78°05'05"W, 853.49 feet;

Thence N70°28'47"W, 1161.59 feet;

Thence N02°15'48"W, 131.87 feet to the point of beginning.

All in the city of Bettendorf, Scott County, Iowa. The described area contains 16.84 acres and is subject to easements and other restrictions of record.

and which is now zoned A-1 Agricultural/Urban Reserve District, is hereby repealed and said described land shall hereinafter be zoned C-3 General Business District, and the following Zoning Map, which is attached hereto and incorporated herewith and made a part thereof, as the same pertains to said area, is enacted as a substitute and in lieu of said District Map.

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase, or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section 3. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publication as required by law.

Section 4. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

PASSED, APPROVED, AND ADOPTED this _____ day of _____, 2025.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

STAFF REPORT

Subject: Planning and Zoning Commission
Author: Taylor Beswick
Department: Community Development
Date: April 11, 2025

Case Nos.: 25-016-REZ & 25-017-REZ

Request: Rezone from A-1 to R-2 (93.4 acres) and A-1 to C-3 (16.84 acres) (total of 111.8 acres)

Location: North of Forest Grove Drive, west of Wells Ferry Road, and south of I-80

Applicants: Windmill Development, Pleasant Valley Community School District, and Forest Grove School House Preservation

Current Zoning: A-1, Agricultural/Urban Reserve District

Proposed Zoning: R-2, Single-Family Residence District & C-3, General Business

Future Land Use: A mixture of CC, Community Commercial; NL, Neighborhood Light; P, Public; GW, Greenways; and Open Space

Related Cases: 23-020-ANNEX Wells Ferry Road/Forest Grove Drive Annexation; 25-019-PP Blackstone Addition Preliminary Plat; 25-018-ORD Permitted Use Table, Commercial Uses

Background Information & Facts

Windmill Development, Pleasant Valley Community School District, and Forest Grove School House Preservation has submitted a request to rezone approximately 94.34 acres of land located north of Forest Grove Drive, west of Wells Ferry Road, and south of I-80 from A-1 to R-2 (see Aerial Map - Attachment A). In addition, Windmill Development has submitted a request to rezone approximately 16.84 acres of land in the same area from A-1 to C-3. Property contained within the rezoning area is currently farmland, except for the Forest Grove School House, and was recently annexed into the City of Bettendorf. Proposed uses of the entire area include an 88-lot, single-family subdivision, a future Pleasant Valley Community School District school, the existing Forest Grove School House (a historic structure), and indoor commercial storage units.

The annexation was conducted during the most recent Comprehensive Plan update; thus the Future Land Use Map aligns with the proposed developments on the property. In addition, Spencer Creek runs through the property resulting in portions being designated as Parks & Open Space. Upon successful annexation into the City of Bettendorf, property is automatically zoned A-1. The proposed R-2 and C-3 zoning are compliant with the proposed uses, pending the consideration of Case No. 25-018-ORD which will allow convenience storage in the C-3 District via a Special Use Permit approved by the Board of Adjustment. A-1 zoning is also present to the east. Single-family developments exist to the north and south of this parcel (see Future Land Use and Current Zoning – Attachment B; Proposed Zoning – Attachment C).

A submitted concept plan shows the proposed configuration of these lots (see Annexation Concept – Attachment D). Windmill Development has also submitted the Preliminary Plat of Blackstone Addition, the residential portion of this rezoning (see Case No. 25-019-PP). Portions of the property are in Special

Flood Hazard Areas, and the applicant's development team has taken this fact into account for siting on the rezoning tract and future single-family lots or commercial lots.

Future Land Use and Comprehensive Plan

As noted previously, the Future Land Use Map designates the area of the rezoning as multiple future land use categories. The proposed zoning and proposed uses are compatible and consistent with the Comprehensive Plan.

Multiple Comprehensive Plan goals are met by the proposed development including preserving environmental sensitive areas, implementing the annexation 7-point strategies, and enhancing community character with improved education services making Bettendorf a great place to live.

Zoning Compliance

The residential rezoning tract is intended to be subdivided single-family lots, a future school, and a historic schoolhouse which are permitted in the R-2 district. The northern commercial zoning tract is proposed to be indoor storage, which requires a Zoning Ordinance Text Amendment (see Case No. 25-018-ORD). The rezoning tract is of sufficient size for the proposed uses and is located in an area that can be developed. All additional bulk standards and regulations have been sufficiently considered for the rezoning including floor area, height, and setbacks.

Rezoning requests must adequately address the following concerns as outlined in Section 11-15-13(B). Staff has addressed each requirement:

1. *The rezoning conforms to the future land use map in the comprehensive plan, as described in the Preamble and further in subsection A-1-3 of Appendix 1.* – Yes, as described in the “Future Land Use and Comprehensive Plan” section of this report.
2. *The amendment is consistent with the goals and objectives of the comprehensive plan.* – Yes, as described in the “Future Land Use and Comprehensive Plan” section of this report.
3. *The subject property, after the city council approval of the requested rezoning, will be designed so as to permit characteristics of said zoning district that will not negatively impact the nearby parcels.* – The proposed single-family residential use is a desirable and attractive development at this location, and staff contends it will not negatively impact nearby parcels. Staff contends the proposed commercial zoning area is naturally buffered from surrounding uses which isolate any potential negative impacts that could be present, depending on the commercial use.
4. *The potential externalities and applicable performance standards requirements governing factors (such as noise, neon lights, odors, etc.) of the rezoning request have been adequately considered.* – No potential negative externalities have been identified for the proposed residential use. Additional site plan reviews will be required to analyze impacts of any proposed school/public uses and commercial uses.
5. *There are adequate public utilities and services available to the land if rezoned. If not, there is an identified party who will pay to install them.* – Forest Grove Drive is public right-of-way and adjacent to the proposed rezoning tract, and further access is described in the “Thoroughfare Plan & Access” section of this report. Connection to utilities, sanitary sewer, and stormwater detention are feasible given the

location and size of the proposed rezoning tract. A more detailed analysis and review of these connections and requirements will be conducted at the platting stage.

6. *The pattern of development that has occurred surrounding the subject property is examined, as other characteristics of the subject property are considered, to make a determination regarding a request for an amendment change.* – A R-2 Zoning District is an appropriate district for this location and is consistent with the pattern of development occurring west of this area in Sterling Woods Subdivision and the Spencer Hollow Subdivisions. A commercial development which is bound by Spencer Creek, I-80, and Wells Ferry Road is appropriate given the limited access and sufficient natural buffers present.
7. *The proposed amendment is in the public interest and not solely in the interests of the applicant.* – The amendment is in the public interest due to goal consistencies described in the section “Future Land Use and Comprehensive Plan” of this report.

Thoroughfare Plan & Access

Forest Grove Drive and Wells Ferry Road will provide access to future developments within the rezoning area. As part of the residential subdivision, local public streets will connect to existing roads west of the Forest Grove School House on Forest Grove Drive and north of the Pleasant Valley Community School District property on Wells Ferry Road. The future Pleasant Valley Community School building will have curb cuts onto Wells Ferry Road and Forest Grove Drive while the existing access for the Forest Grove School House will remain on Forest Grove Drive. Further analysis and review will be conducted during the platting stage and/or site development plan stage.

Utilities and Services

All new developments within the rezoning tract will be served by the Spencer Creek sanitary sewer lift station, currently under construction. Iowa American Water and MidAmerican Energy have capacity to extend water, gas, and electric to future developments in the area.

Other Platting Considerations

Staff contends the submitted rezoning exhibit and additional information addresses all relevant information for reviewing the rezoning request. Further details will be provided, analyzed, and reviewed at the platting stage and or site development plan stage for proposed uses within the rezoning area.

Staff Recommendation

Given the evidence and reasons stated in the staff analysis of the request, staff recommends the Planning and Zoning Commission recommend **approval** of the proposed rezoning requests:

- Case No. 25-016-REZ: A-1 to R-2
- Case No. 25-017-REZ: A-1 to C-3

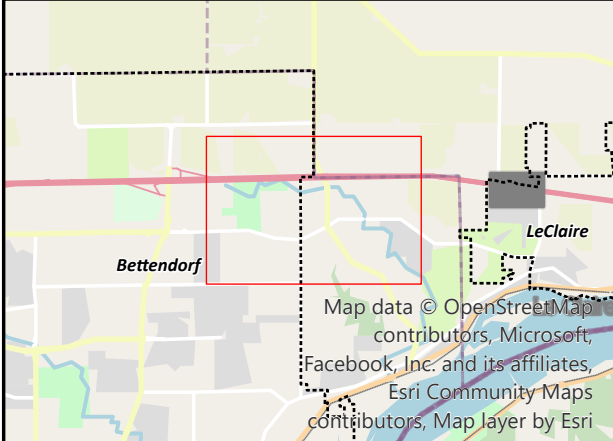
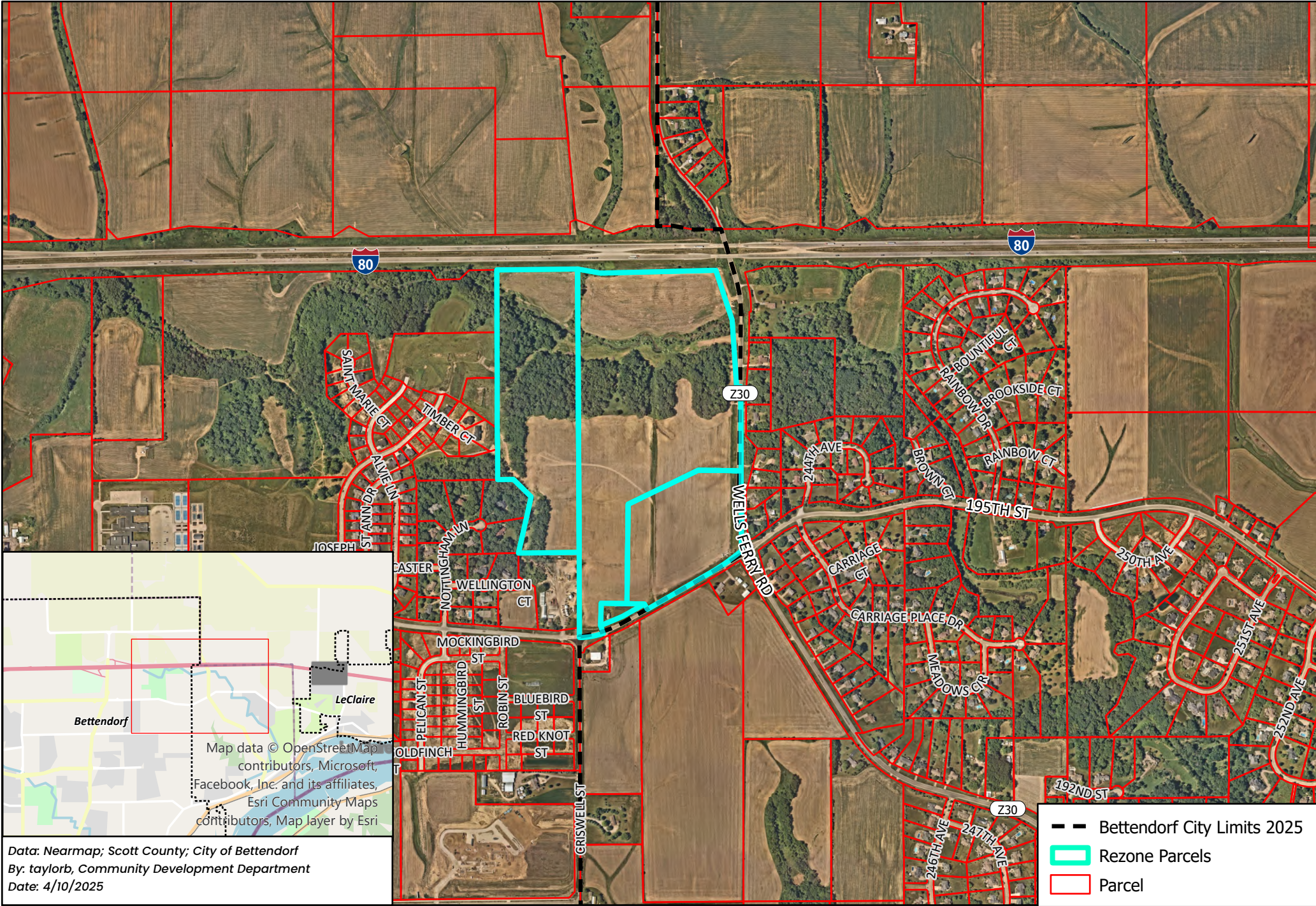
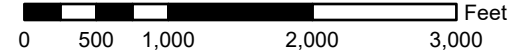
Taylor Beswick, Senior City Planner

Attachments:

Aerial Map - Attachment A; Future Land Use and Current Zoning – Attachment B; Proposed Zoning – Attachment C; Annexation Concept – Attachment D

Case No. 25-016-REZ & 25-017-REZ
Rezone: A-1 to R-2 and A-1 to C-3
Aerial - Attachment A

1 Inch = 1,333 Feet



Data: Nearmap; Scott County; City of Bettendorf
By: taylorb, Community Development Department
Date: 4/10/2025

- Bettendorf City Limits 2025
- Rezone Parcels
- Parcel

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri

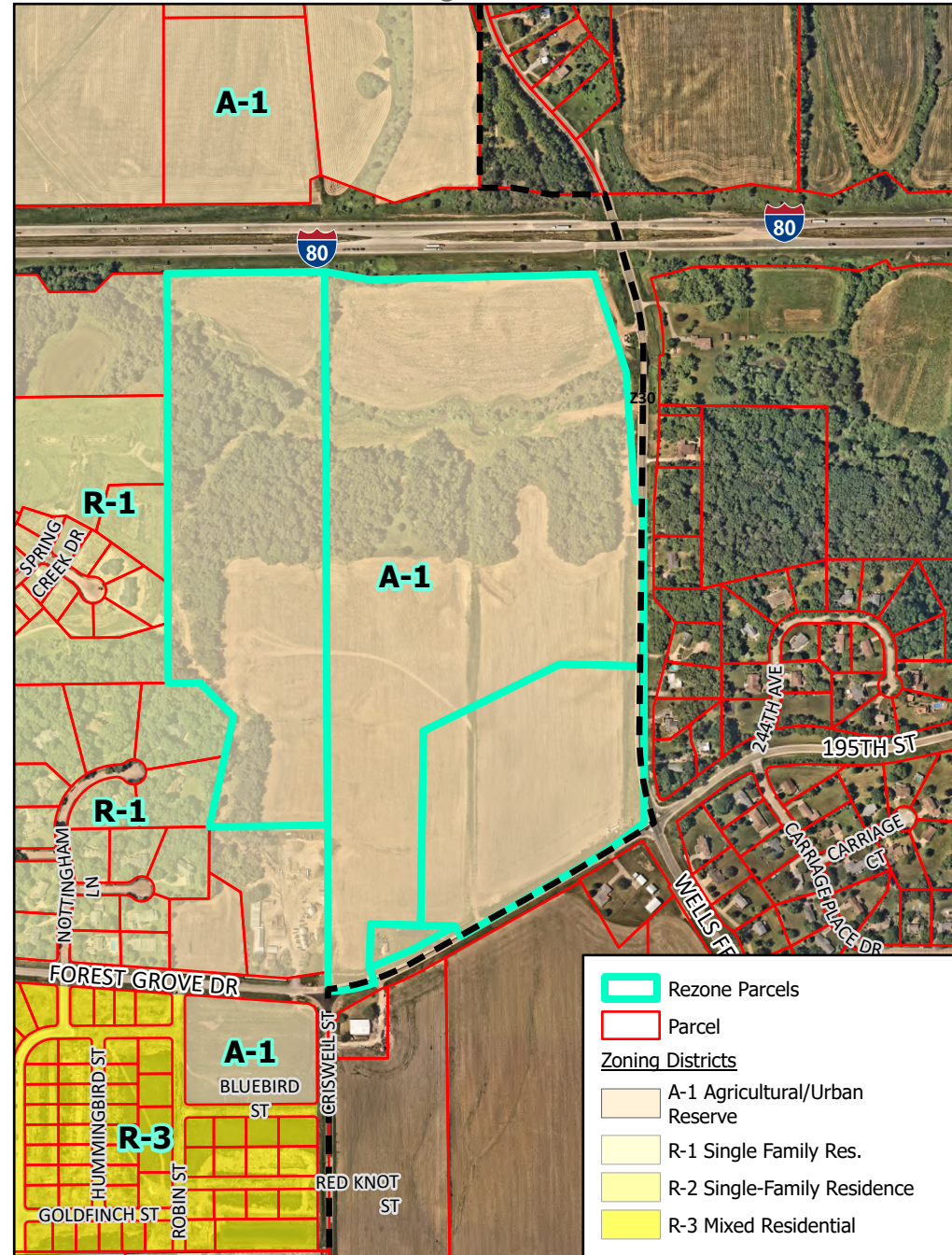
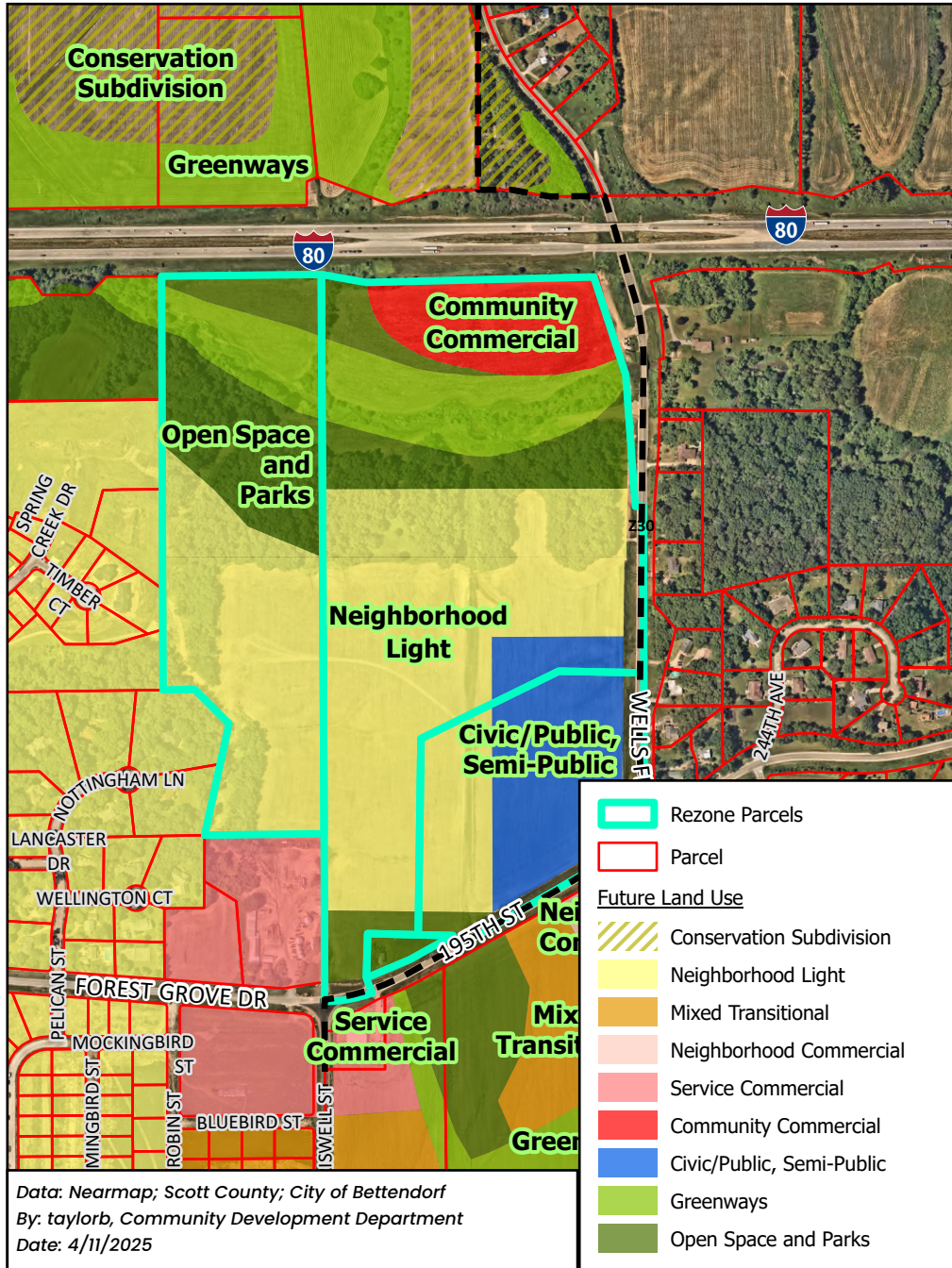
Case No. 25-016-REZ & 25-017-REZ
Rezone: A-1 to R-2 and A-1 to C-3
Future Land Use & Zoning - Attachment B

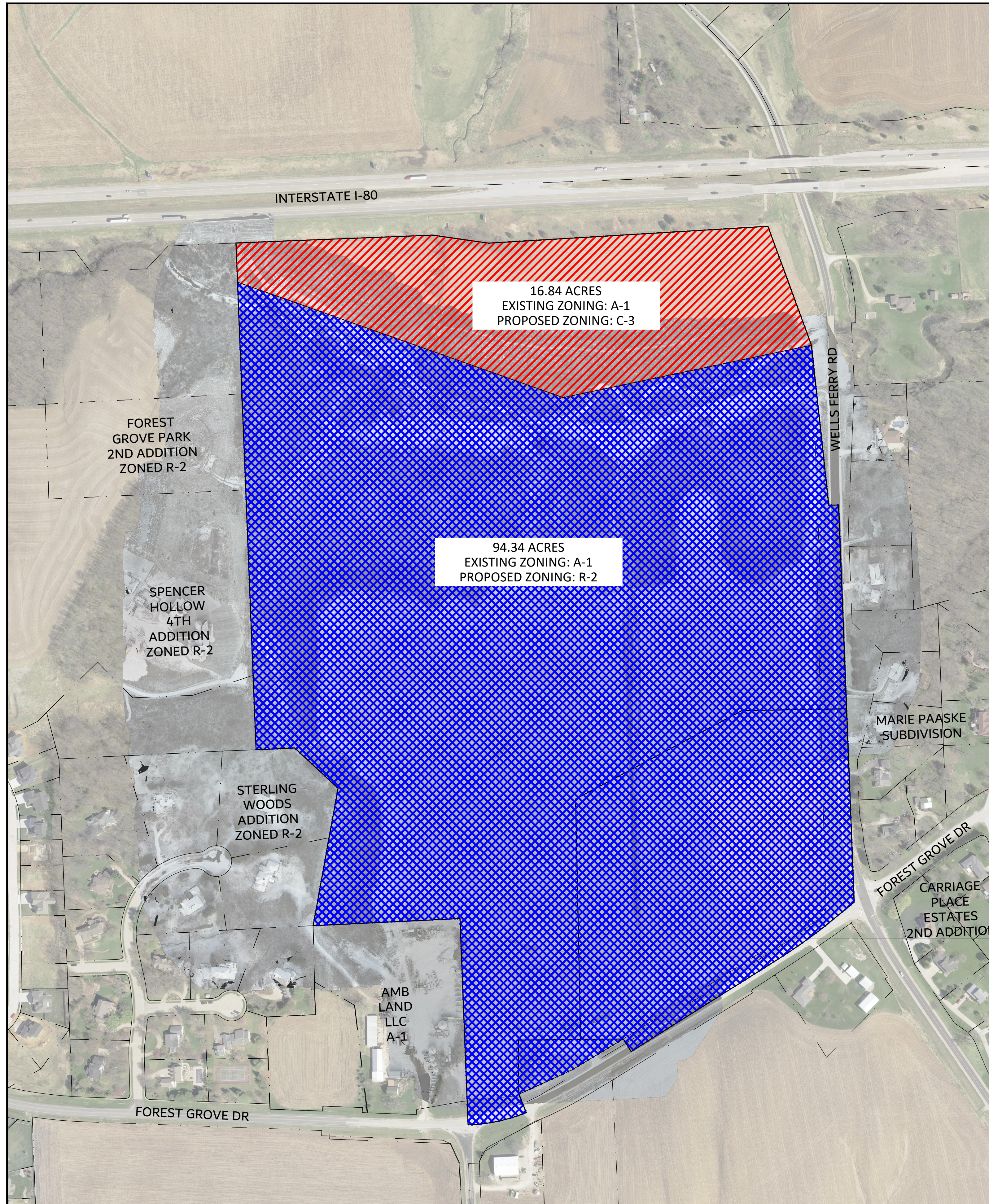
1 Inch = 1,000 Feet
0 185 370 740 Feet



Future Land Use

Zoning (Current)



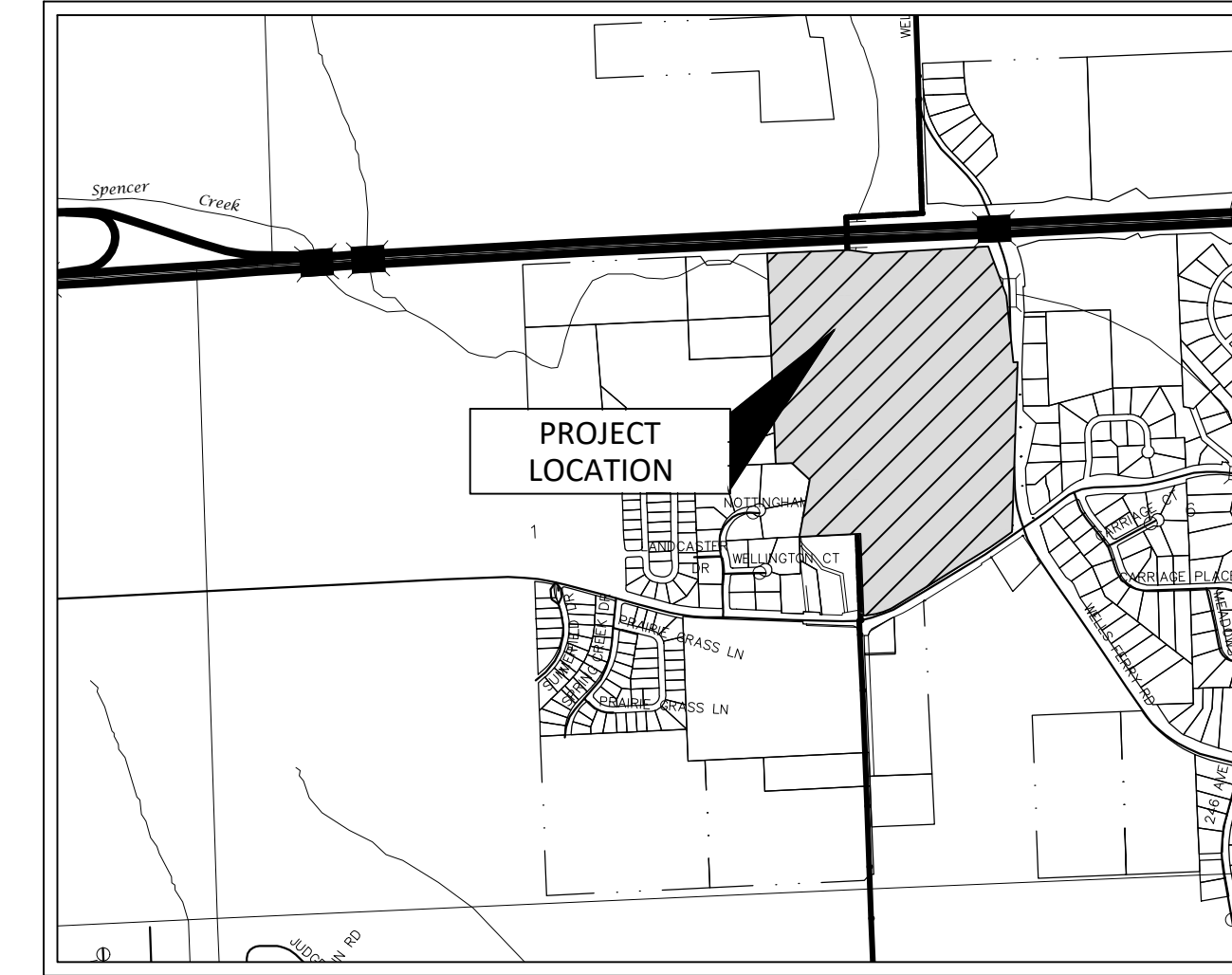


REZONING EXHIBIT

WINDMILLER FOREST GROVE

BETTENDORF, IOWA

PROJECT LOCATION MAP:



(NOT TO SCALE)

APPLICANT INFORMATION:

APPLICANT/OWNER:
WINDMILLER DEVELOPMENT, LLC
P.O. BOX 790
BETTENDORF, IA 52722

PREPARED BY:
AXIOM CONSULTANTS, LLC
C/O BRIAN BOELK
300 S. CLINTON STREET, UNIT 200
IOWA CITY, IOWA 52240
319-519-6220
BBOELK@AXIOM-CON.COM

LEGAL DESCRIPTION:

ZONED TO C-3:

BEING THE NORTHERN PORTION OF CORRECTED AUDITOR'S PARCEL A AS RECORDED IN 2024-5174 OF THE SCOTT COUNTY RECORDER'S OFFICE DESCRIBED AS:

BEGINNING AT THE NORTHWEST CORNER OF SAID CORRECTED AUDITOR'S PARCEL A; THENCE N87°43'35"E, 662.59 FEET; THENCE S81°51'18"E, 189.70 FEET; THENCE N86°32'59"E, 940.47; THENCE S20°07'51"E, 425.71 FEET; THENCE S78°05'05"W, 853.49 FEET; THENCE N70°28'47"W, 1161.59 FEET; THENCE N02°15'48"W, 131.87 FEET TO THE POINT OF BEGINNING.

ALL IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA. DESCRIBED AREA CONTAINS 16.84 ACRES AND IS SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS OF RECORD.

ZONED TO R-2:

BEING PART OF CORRECTED AUDITOR'S PARCEL A AS RECORDED IN 2024-5174, ALL OF AUDITOR'S PARCEL B AS RECORDED IN 2024-5420, AND ALL OF THE LEASE PARCEL AS RECORDED IN 2022-24374 OF THE SCOTT COUNTY RECORDER'S OFFICE, CITY OF BETTENDORF, SCOTT COUNTY, IOWA, EXCEPT THE NORTHERN PORTION OF SAID CORRECTED AUDITOR'S PARCEL A DESCRIBED AS:

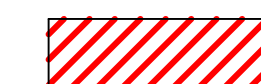
BEGINNING AT THE NORTHWEST CORNER OF SAID CORRECTED AUDITOR'S PARCEL A; THENCE N87°43'35"E, 662.59 FEET; THENCE S81°51'18"E, 189.70 FEET; THENCE N86°32'59"E, 940.47; THENCE S20°07'51"E, 425.71 FEET; THENCE S78°05'05"W, 853.49 FEET; THENCE N70°28'47"W, 1161.59 FEET; THENCE N02°15'48"W, 131.87 FEET TO THE POINT OF BEGINNING.

ALL IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA. DESCRIBED AREA CONTAINS 94.34 ACRES AND IS SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS OF RECORD.

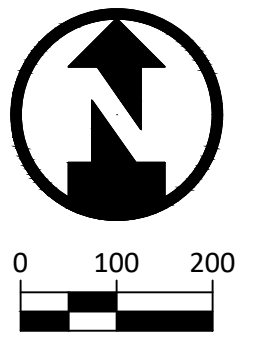
ZONING INFORMATION:

CURRENT ZONING:
A-1 AGRICULTURAL/URBAN RESERVE DISTRICT

PROPOSED ZONING:
C-3 GENERAL BUSINESS DISTRICT



R-2 SINGLE-FAMILY RESIDENCE DISTRICT



ISSUED FOR
REVISED SUBMITTAL

DATE 03-05-2025

DESCRIPTION DATE

DESIGNED BY NB/JP
DETAILED BY JK
CHECKED BY BB
PROJECT NO. 22-0199
SHEET NAME

REZONING EXHIBIT

NOT FOR CONSTRUCTION



Public Hearing

4. Case 25-016-REZ; North of Forest Grove Drive, West of Wells Ferry Road, and south of Interstate 80, A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Windmill Development, LLC, Pleasant Valley Community School District, and Forest Grove Schoolhouse Preservation. (Staff: Beswick)
5. Case 25-017-REZ; North of Forest Grove Drive, West of Wells Ferry Road, and south of Interstate 80, A-1 Agricultural/Urban Reserve District to C-3 General Business District, submitted by Windmill Development, LLC. (Staff: Beswick)

Beswick reviewed the staff report.

Stoltenberg opened the public hearing for Case 25-016-REZ and asked if there is proof of publication. Fuhrman confirmed this.

There being no one present wishing to speak in favor of or in opposition to the rezoning request, Stoltenberg closed the public hearing.

Stoltenberg opened the public hearing for Case 25-017-REZ and asked if there is proof of publication. Fuhrman confirmed this.

There being no one present wishing to speak in favor of or in opposition to the rezoning request, Stoltenberg closed the public hearing.

Scaife asked if there would be RV storage, personal storage, or both on the site. Beswick explained that Convenience Storage is currently defined by code as indoor storage, adding that the proposed facility would be for indoor storage.

A brief discussion was held regarding the limited sight lines on Wells Ferry Road at the underpass which will be addressed during the site development plan stage.

On motion by Kappeler, seconded by Scaife, that the rezoning of property located north of Forest Grove Drive, West of Wells Ferry Road, and south of Interstate 80 from A-1 to R-2 be recommended for approval subject to staff recommendations.

ROLL CALL ON MOTION

ALL AYES



April 30, 2025

Honorable Mayor and
Members of the City Council
City of Bettendorf
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's recommendation on the rezoning of property generally located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80, A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Windmill Development, LLC/Pleasant Valley Community School District/Forest Grove School Preservation. (Case 25-016-REZ)

Planning and Zoning Commission's recommendation on the rezoning of property generally located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80, A-1 Agricultural/Urban Reserve District to C-3 General Business District, submitted by Windmill Development, LLC. (Case 25-017-REZ)

Honorable Mayor and Members of the City Council:

On April 16, 2025, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named rezoning requests.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt
Director, Community Development

4403 Devils Glen Road | Bettendorf, IA 52722 | (563) 344-4100 | www.bettendorf.org

Motion carried.

On motion by Kappeler, seconded by Wennlund, that the rezoning of property located north of Forest Grove Drive, West of Wells Ferry Road, and south of Interstate 80 from A-1 to C-3 be recommended for approval subject to staff recommendations.

ROLL CALL ON MOTION

ALL AYES

Motion carried.

COUNCIL LETTER

MEETING DATE: May 6, 2025 (SPH)
May 20, 2025 (HPH)
REQUESTED BY: Mark Hunt
Community Development Director



Item Title

Resolution setting a date for public hearing on an ordinance amending Title 11 Chapter 4-5B of the Bettendorf City Code entitled “Commercial and Parking Permitted Use Table”. (Case 25-018-ORD) (5/6/25) (SPH)

Public hearing and first reading of an ordinance amending Title 11 Chapter 4-5B of the Bettendorf City Code entitled “Commercial and Parking Permitted Use Table”. (Case 25-018-ORD) (5/20/25) (HPH)

Explanation

Staff is proposing to amend a section of Title 11: Chapter 4 Permitted Use Tables for the following purposes:

- To allow convenience storage in the C-3 District subject to approval of a Special Use Permit by the Board of Adjustment.
- Convenience storage is only allowed in Industrial Districts.
- Convenience storage is defined as: “Storage services primarily for personal effects and household goods within enclosed storage areas having individual access but excluding use of such areas as workshops, hobby shops, manufacturing, or commercial activity.”
- This will allow commercial in-fill in certain cases and not require the rezoning of property to industrial districts which could permit more impactful uses.

Development trends have shown demand for personal storage. Staff contends that there are instances when personal indoor storage or mini-warehousing can be compatible with surrounding uses in areas zoned C-3, General Commercial. Staff is not endorsing the use when there is the potential for commercial uses which provide jobs, services, or a more intense commercial use based on criteria such as traffic, connectivity, and overall development factors. Given the criteria stated, a requirement for a Special Use Permit by the Board of Adjustment is recommended on a case-by-case analysis for permitting convenience storage in the C-3 District. Staff contends the proposed amendment enhances the City of Bettendorf’s economic development tools and encourages redevelopment and investment in commercial areas - all goals outlined in the City’s Comprehensive Plan.

The Planning and Zoning Commission made a recommendation for approval of the ordinance amendment at their April 16, 2025 meeting.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List attachments

Resolution; Ordinance; (A) Staff Report with attachments; (B) Planning and Zoning Commission report to Mayor and City Council; (C) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter.

RESOLUTION NO. _____ - 25

**RESOLUTION SETTING A DATE FOR PUBLIC HEARING ON AN
ORDINANCE AMENDING TITLE 11 CHAPTER 4-5B OF THE BETTENDORF CITY CODE
ENTITLED COMMERCIAL AND PARKING PERMITTED USE TABLE**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that a date for public hearing be set for May 20, 2025, at 7:00 p.m., City Hall Council Chambers, 1609 State Street, on the matter of an ordinance amending Title 11 Chapter 4-5B of the Bettendorf City Code entitled “Commercial and Parking Permitted Use Table”.

PASSED, APPROVED, AND ADOPTED this 6th day of May, 2025.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

Return to: Michelle Spencer, 1609 State Street, Bettendorf, IA 52722

ORDINANCE NO. _____ - 25

**ORDINANCE AMENDING TITLE 11 CHAPTER 4-5B OF THE BETTENDORF CITY CODE
ENTITLED COMMERCIAL AND PARKING PERMITTED USE TABLE**

Section 1. BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that Title 11 Chapter 4-5B of the Bettendorf City Code entitled “Commercial and Parking Permitted Use Table” is hereby amended by adding thereto the following to the uses permitted by special use subject to approval of the Board of Adjustment in the C-3 General Business District:

Convenience Storage

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase, or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section Three. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

Section Four. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publication as required by law.

PASSED, APPROVED AND ADOPTED THIS _____ day of _____, 2025.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



Staff Report

Subject: Planning & Zoning Commission
Author: Taylor Beswick
Department: Community Development
Date: April 11, 2025

Case No.: 25-018-ORD
Request: Amend sections of 11-4-5(B.): Commercial And Parking Permitted Use Table
Location: City-wide in the C-3, General Business District
Applicant: Community Development Staff
Summary: Amends Zoning Ordinance Permitted Use Table (11-4-5B) to allow convenience storage in the C-3 District after approval of a Special Use Permit.

Background Information, Facts, and Staff Analysis

Staff is proposing to amend a section of Title 11: Chapter 4 Permitted Use Tables for the following purposes:

- To allow convenience storage in the C-3 District, subject to approval of a Special Use Permit by the Board of Adjustment.
- Convenience storage is only allowed in Industrial Districts.
- Convenience storage is defined as: “Storage services primarily for personal effects and household goods within enclosed storage areas having individual access but excluding use of such areas as workshops, hobby shops, manufacturing, or commercial activity.”
- This will allow commercial in-fill in certain cases and not require the rezoning of property to industrial districts which could permit more impactful uses.

Attachment A contains the redline amendments to 11-4-5(B.). Development trends have shown demand for personal storage. Staff contends that there are instances where personal in-door storage or mini-warehousing can be compatible with surrounding uses in areas zoned C-3, General Commercial. Staff is not endorsing the use where there is a potential for commercial uses which provide jobs, services, or a more intensive commercial use based on criteria such as traffic, connectivity, and overall development factors. Given the criteria stated, a requirement for a Special Use Permit by the Board of Adjustment is recommended for a case-by-case analysis for permitting convenience storage in the C-3 District.

Staff Recommendation

Staff contends the proposed amendments enhance the City of Bettendorf’s economic development tools and encourage redevelopment and investment in commercial areas, all goals outlined in the City’s Comprehensive Plan. Staff recommends approval of Case 25-018-ORD, Zoning Ordinance amendments to section 11-4-5(B.)

Respectfully submitted,
Taylor Beswick, Senior City Planner

25-018-ORD: Amendment to Permitted Use Table - Attachment A

Table 11-4-5B Commercial And Parking Permitted Use Table

RED = Amendment

“Convenience Storage Use Type”

| Zoning Districts | A1 | A2 | R1 | R2 | R3 | R4 | R5 | RMHP | C1 | C2 | C3 | C6 | C7 | I1 | I2 | I3 | Supplemental Regulations |
|---------------------|----|----|----|----|----|----|----|------|----|----|----------|----|----|----|----|----|--------------------------|
| Use Types | | | | | | | | | | | | | | | | | |
| Convenience Storage | | | | | | | | | | | S | | | P | P | P | stds in supp regs |



April 30, 2025

Honorable Mayor and
Members of the City Council
City of Bettendorf
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's recommendation on an ordinance amending Title 11, Chapter 4-5B of the Bettendorf City Code entitled "Commercial and Parking Permitted Use Table. (Case 25-018-ORD)

Honorable Mayor and Members of the City Council:

On April 16, 2025, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named ordinance amendment.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt
Director, Community Development

6. Case 25-018-ORD; Amendments to Title 11, Chapter 4 Permitted Use Table, to allow Convenience Storage in the C-3 District as a Special Use, submitted by the City of Bettendorf. (Staff: Beswick)

Beswick reviewed the staff report.

Stoltenberg opened the public hearing for Case 25-018-ORD and asked if there is proof of publication. Fuhrman confirmed this.

There being no one present wishing to speak in favor of or in opposition to the ordinance amendment, Stoltenberg closed the public hearing.

Kappeler asked if there are criteria for the Board of Adjustment to evaluate special uses. Beswick confirmed this, adding that the Board will determine whether or not a proposed convenience storage use is appropriate in a particular location and evaluate any external impacts it may have. He stated that the notification process of the public hearing is very similar to that for a rezoning and that the Board will require an advanced concept plan as a part of their evaluation. Beswick added that site development plan approval would also be required.

Hunt commented that staff had already been contemplating this ordinance amendment as a part of the zoning ordinance update. He added that allowing the use in the C-3 district as well as in industrial districts will likely preserve space for more intense uses that may require a larger area. Wennlund suggested that enhanced landscaping or screening be required if a developer proposes convenience storage in a C-3 district in more developed areas of the city.

On motion by Ormsby, seconded by Kappeler, that an ordinance amending Title 11, Chapter 4 Permitted Use Table to allow Convenience Storage in the C-3 District as a Special Use be recommended for approval subject to staff recommendations.

ROLL CALL ON MOTION

ALL AYES

Motion carried.

COUNCIL LETTER

MEETING DATE: May 20, 2025
REQUESTED BY: Brent O. Morlok, P.E., City Engineer



Item Title

Ordinance amending the Bettendorf City Code Section 7-4-2 “Location of Poles; Council Authority.”

Explanation

The City has recently been approached by a new fiber communications company about a potential City-wide buildout, similar to the Metronet project that was completed in 2021. The agreement with Metronet permitted aerial construction where the electric utility (MidAmerican Energy) and other communication companies had existing aerial facilities, but required underground where they were underground. There were some areas where new poles had to be set, and several observations were made from Council and staff at that time about the aesthetic of continuing to add poles. In talking with MidAmerican, they have indicated that their poles are very full and may not have any room for additional co-locating of new communication lines so the prospect of new poles has become a concern.

Staff reached out to other cities and found several that have successfully restricted new poles for telecommunications and has modeled this proposed ordinance change on those. The intent will be for communications to make every effort to co-locate or they will have to go underground.

This Ordinance meets the City’s mission by providing a quick response to concerns for safety.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

The cost of publication and the erection of signs.

List Attachments

Ordinance.

ORDINANCE NO. _____-25

**ORDINANCE AMENDING THE BETTENDORF CITY CODE
SECTION 7-4-2 "LOCATION OF POLES; COUNCIL AUTHORITY"**

Section One. Be It Enacted by the City Council of the city of Bettendorf, Iowa, that Bettendorf City Code Section 7-4-2 entitled, "Location of Poles; Council Authority" is hereby amended by **adding** thereto the following:

D. Underground: All cables, wires and conduits in connection with any communications systems shall be placed underground, except as provided in subsection E of this section.

E. Overhead Permitted: Cables, wires and conduits in connection with a communications system may be placed overhead in the following circumstances:

1. Areas of the city with an industrial zoning classification and where existing poles of a franchised utility are to be used.
2. Where aboveground connection to buildings or other locations above ground is reasonably necessary. Such aboveground connection shall be by means of poles located, as far as reasonably practicable, outside of street right of way.

Section Two. Full Force and Effect. This ordinance shall be in full force and effect the date of passage and publication as required by law.

Section Three. Severability of Provisions. If any section, subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion thereof.

Section Four. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

Passed, Approved and Adopted this _____ day of _____, 2025.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk

**CITY OF BETTENDORF
COMMITTEE OF THE WHOLE MEETING MINUTES**

MAY 19, 2025

The City Council of Bettendorf, Iowa held their Committee of the Whole on Monday, May 19, 2025, at 5:00 p.m., in the Council Chambers at Bettendorf City Hall, 1609 State Street, Bettendorf, Iowa.

The City of Bettendorf broadcasted this public meeting online at www.bettendorf.org/YouTube.

Council Members Present: Adamson, Jager, Naumann, Sechser, Baden, Palczynski

Council Members Absent: Brown

Presiding: Mayor Robert S. Gallagher

ITEMS TO APPEAR

Finance Director Jason Schadt gave an explanation of the resolution amending the city's current budget for the fiscal year ending June 30, 2025. Mayor Gallagher asked council for any questions. Council Members Naumann, Jager, and Sechser commented and/or questioned staff regarding debt reduction, breakdown of individual funds, and expressed gratitude to staff for a great job managing the budget. Mr. Schadt responded accordingly and Mayor Gallagher commented and asked for any further discussion. None presented.

CONSENT AGENDA ITEMS

Transit Operations Manager Austin Whelan gave an explanation of the resolution setting the date for a public hearing on the proposed changes to Bettendorf's Transit Americans with Disabilities (ADA) Complementary Paratransit Service Policy. Mayor Gallagher asked Mr. Whelan regarding the certification and recertification process. Mr. Whelan stated that Bettendorf is aligning their policy language to be consistent with that of Davenport Citibus, River Bend Transit, and MetroLINK. Mayor Gallagher asked council for any questions. None presented. Mayor Gallagher asked for a motion to keep this item as Consent D for consideration at tomorrow evening's regular city council meeting. Council Member Naumann made the motion, and Council Member Baden seconded the motion. Viva Voce indicated all ayes, and the motion passed unanimously. **(Consent D)**

Public Works Director Brian Schmidt gave an explanation of the resolution approving a professional services agreement with HDR for the I-80 and Middle Road City Funded Improvements Project. Mayor Gallagher asked council for any questions. Council Member Jager asked staff for a breakdown of the monies allocated for this project and requested it be made available so the public will understand what the \$2 million is being used for. Mr. Schmidt responded accordingly. Mayor Gallagher asked for a motion to keep this item as Consent J for consideration at tomorrow evening's regular city council meeting. Council Member Palczynski made the motion, and Council Member Jager seconded the motion. Viva Voce indicated all ayes, and the motion passed unanimously. **(Consent J)**

Mayor Gallagher asked council for any questions on the remaining consent agenda items. Council Member Baden questioned staff on Item H and Public Works Director Brian Schmidt responded accordingly. Council Member Naumann questioned staff on Item L. Fire Chief Troy Said responded accordingly. Mayor Gallagher asked for a motion to approve the remaining consent agenda items as presented for consideration at tomorrow evening's regular city council meeting. Council Member Baden made a motion to approve same, and Council Member Naumann seconded the motion. Viva Voce indicated all ayes, and the motion passed unanimously.

ITEMS ADDED BY MAYOR AND COUNCIL

No items were added by Mayor and/or Council.

ADJOURNMENT

There being no further business, Council Member Adamson made a motion to adjourn, and Council Member Jager seconded the motion. The meeting was adjourned at approximately 5:32 p.m.

Mayor Robert S. Gallagher

Attest:

City Clerk Decker P. Ploehn

**CITY OF BETTENDORF
CITY COUNCIL MEETING MINUTES**

MAY 20, 2025

The City Council of Bettendorf, Iowa met in regular session on Tuesday, May 20, 2025, at 7:00 p.m., in the Council Chambers at Bettendorf City Hall, 1609 State Street, Bettendorf, Iowa.

The City of Bettendorf broadcasted this public meeting online at www.bettendorf.org/YouTube.

Council Members Present: Adamson, Jager, Brown, Naumann, Sechser, Baden, Palczynski

Presiding: Mayor Robert S. Gallagher

Mayor Gallagher opened the meeting with the Pledge of Allegiance followed by an Invocation given by Pastor Rich Pokora of All Saints Lutheran Church.

RECOGNITION

Mayor Gallagher recognized Bettendorf High School Wrestlers Jake Knight and TJ Koester for their individual Class 3A State Championship wins and presented them with a plaque. Coach Dan Knight, Jake and TJ were present for the recognition.

PROCLAMATION

Mayor Gallagher issued a proclamation proclaiming the month of May, 2025, as Bike Month in the Bettendorf community. The proclamation was requested by Bettendorf Trails Committee, and received by Jason Manfull, Parks Maintenance Manager, John Byrnes, Parks & Recreation Director, and Phil Schubbe, member of the QC cycling community.

PROCLAMATION

Mayor Gallagher issued a proclamation proclaiming May 20, 2025, as World Bee Day in the Bettendorf community. The proclamation was requested by Bettendorf Parks Maintenance, and received by Jason Manfull, Parks Maintenance Manager, John Byrnes, Parks & Recreation Director, and Maggie Penry-Cole, Horticulture Technician.

PUBLIC REQUESTS OF COUNCIL

No one addressed the Council, and the session was closed.

Council Secretary Michelle Spencer left the meeting momentarily to retrieve affidavits of publication and Mayor Gallagher proceeded with the meeting starting with Item 16 of the agenda.

ORDINANCE – FIRST READING AMENDING BETTENDORF CITY CODE SECTION 7-4-2 ENTITLED, “LOCATION OF POLES; COUNCIL AUTHORITY”

Council Member Jager presented the first reading of ordinance amending Title 7, Chapter 4, Section 2 of the Bettendorf City Code, entitled, “Location of Poles; Council Authority”, and made a motion to approve the ordinance at its first reading as presented. Council Member Adamson seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Sechser (aye); Baden (aye); Palczynski (aye); Adamson (aye); Jager (aye); Brown (aye); and Naumann (aye). The motion passed unanimously.

ORDINANCE – THIRD AND FINAL READING AMENDING TITLE 11, CHAPTER 14 OF THE CITY CODE – SIGN ORDINANCE (CASE 25-004-ORD)

Council Member Baden presented the third and final reading of ordinance amending Title 11, Chapter 14 of the City Code – Sign Ordinance, and made a motion to approve the ordinance at its final reading as presented. Council Member Palczynski seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Sechser (aye); Baden (aye); Palczynski (aye); Adamson (aye); Jager (aye); Brown (aye); and Naumann (aye). The motion passed unanimously.

CONSENT AGENDA

Mayor Gallagher asked for a motion to approve the Consent Agenda as presented. Council Member Palczynski made a motion to approve the Consent Agenda as presented, and Council Member Brown seconded the motion. Mayor Gallagher asked Council for any questions. None presented. Roll call vote indicated Sechser (aye); Baden (aye); Palczynski (aye); Adamson (aye); Jager (aye); Brown (aye); and Naumann (aye). The motion passed unanimously.

PUBLIC HEARING REGARDING THE CITY’S CURRENT BUDGET FOR THE FISCAL YEAR ENDING JUNE 30, 2025

Mayor Gallagher verified that the Notice of Public Hearing had been published and no written correspondence had been received on the matter. Mayor Gallagher asked council for any questions. None presented. Mayor Gallagher then opened the public hearing. No one addressed the Council, and Public Hearing was closed.

RESOLUTION

Council Member Naumann presented a resolution adopting the city's Fiscal Year 2024/25 Budget Amendment, and made a motion to approve the resolution as presented. Council Member Sechser seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Sechser (aye); Baden (aye); Palczynski (aye); Adamson (aye); Jager (aye); Brown (aye); and Naumann (aye). The motion passed unanimously.

PUBLIC HEARING REGARDING THE REZONING OF PROPERTY GENERALLY LOCATED NORTH OF FOREST GROVE DR, WEST OF WELLS FERRY RD, AND SOUTH OF I-80, A-1, AGRICULTURAL/URBAN RESERVE DISTRICT TO R-2, SINGLE-FAMILY RESIDENCE DISTRICT (CASE 25-016-REZ)

Mayor Gallagher verified that the Notice of Public Hearing had been published and no written correspondence had been received on the matter. Mayor Gallagher asked council for any questions. None presented. Mayor Gallagher then opened the public hearing. No one addressed the Council, and Public Hearing was closed.

ORDINANCE

Council Member Brown presented the first reading of ordinance amending the Bettendorf, Iowa Zone Map for property generally located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80, A-1, Agricultural/Urban Reserve District to R-2, Single-Family Residence District, and made a motion to approve the ordinance as presented at its first reading. Council Member Naumann seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Sechser (aye); Baden (aye); Palczynski (aye); Adamson (aye); Jager (aye); Brown (aye); and Naumann (aye). The motion passed unanimously.

PUBLIC HEARING REGARDING THE REZONING OF PROPERTY GENERALLY LOCATED NORTH OF FOREST GROVE DR, WEST OF WELLS FERRY RD, AND SOUTH OF I-80, A-1, AGRICULTURAL/URBAN RESERVE DISTRICT TO C-3, GENERAL BUSINESS DISTRICT (CASE 25-017-REZ)

Mayor Gallagher verified that the Notice of Public Hearing had been published and no written correspondence had been received on the matter. Mayor Gallagher asked council for any questions. None presented. Mayor Gallagher then opened the public hearing. No one addressed the Council, and Public Hearing was closed.

ORDINANCE

Council Member Palczynski presented the first reading of ordinance amending the Bettendorf, Iowa Zone Map for property generally located north of Forest Grove Drive, west of Wells Ferry Road, and south of Interstate 80, A-1, Agricultural/Urban

Reserve District to C-3, General Business District, and made a motion to approve the ordinance as presented at its first reading. Council Member Baden seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Sechser (aye); Baden (aye); Palczynski (aye); Adamson (aye); Jager (aye); Brown (aye); and Naumann (aye). The motion passed unanimously.

PUBLIC HEARING REGARDING AMENDING BETTENDORF CITY CODE SECTION 11-4-5B, ENTITLED, "COMMERCIAL AND PARKING PERMITTED USE TABLE" (CASE 25-018-ORD)

Mayor Gallagher verified that the Notice of Public Hearing had been published and no written correspondence had been received on the matter. Mayor Gallagher asked council for any questions. None presented. Mayor Gallagher then opened the public hearing. No one addressed the Council, and Public Hearing was closed.

ORDINANCE

Council Member Sechser presented the first reading of ordinance amending Title 11, Chapter 4-5B of the Bettendorf City Code entitled, "Commercial and Parking Permitted Use Table", and made a motion to approve the ordinance as presented at its first reading. Council Member Palczynski seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Sechser (aye); Baden (aye); Palczynski (aye); Adamson (aye); Jager (aye); Brown (aye); and Naumann (aye). The motion passed unanimously.

SUPPLEMENTAL

Council Member Naumann reminded everyone of the American Heart Association's Heart Sculpture Dedication tomorrow at 5 pm at the Jetty Park.

Council Member Baden congratulated Public Works Director Brian Schmidt and his staff on a successful Public Works Day last Saturday. Mr. Schmidt thanked Police & Fire for being there as well with their vehicles and apparatuses.

ADJOURNMENT

There being no further business, Council Member Naumann made a motion to adjourn, and Council Member Jager seconded the motion. The meeting was adjourned at approximately 7:26 p.m.

Mayor Robert S. Gallagher

Attest:

City Clerk Decker P. Ploehn

CONSENT AGENDA

MAY 20, 2025

ALL ITEMS APPEARING BELOW ARE CONSIDERED ROUTINE BY THE CITY COUNCIL AND SHALL BE ENACTED BY ONE MOTION. IF DISCUSSION IS DESIRED, THAT ITEM SHALL BE REMOVED AND DISCUSSED SEPARATELY

- A. Minutes from May 5, 2025, and May 6, 2025 (Approve and Adopt)
- B. Resolution setting the date for a public hearing and directing the advertising for bids for the 2025 Alley Rehabilitation Program. (Approve and Adopt)
- C. Resolution setting the date for a public hearing and directing the advertising for bids for the 27th Street and Erin Street Reconstruction Project. (Approve and Adopt)
- D. Resolution setting the date for a public hearing on the proposed changes to Bettendorf Transit's Americans with Disabilities (ADA) Complementary Paratransit Service Policy. (Approve and Adopt)
- E. Resolution accepting improvements for the 2024 Sidewalk Repair Program. (Approve and Adopt)
- F. Resolution accepting improvements for the 2024 Riverfront Bollards Replacement Project. (Approve and Adopt)
- G. Resolution accepting improvements for the Palmer Hills Golf Course Entrance Culvert Replacement Project. (Approve and Adopt)
- H. Resolution authorizing the Director of Public Works to issue a purchase order to ForeverLawn Heartland for the Crow Creek Park Playground Turf Resurfacing Project near the 4-plex. (Approve and Adopt)
- I. Resolution authorizing an increase to Purchase Order No. 230261 and Purchase Order No. 230264 for the purchase of four (4) automated garbage trucks, three (3) automated recycling trucks, and five (5) rear loaders. (Approve and Adopt)

- J. Resolution approving a professional services agreement with HDR for the I-80 & Middle Road City Funded Improvements Project. (Approve and Adopt)
- K. Resolution reapproving the final plat of Rodruck's First Addition, submitted by Pleasant Valley Alpacas, LLC (Case 24-069-FP). (Approve and Adopt)
- L. Resolution approving the Automatic Aid Agreement for structure fire response between the cities of LeClaire and Bettendorf. (Approve and Adopt)
- M. Resolution approving alcohol license renewals and requests for Los Amigos, Tanglewood Hills Pavilion & Country Club, QC Mart (18th St location), and The Bulldog Arms. (Approve and Adopt)
- N. Bills (Approve payment and direct City Clerk to issue checks in respective amounts)

COUNCIL LETTER

MEETING DATE: June 3, 2025
REQUESTED BY: Jason Schadt, Finance Director



Item Title

Resolution authorizing the Director of Finance to issue a purchase order and enter into a contract with BakerTilly Advisory Group for the completion of an across-the-board sanitary sewer rate study.

Explanation

Council has prioritized planning for and funding critical improvements at the Waste Water Treatment Plant as a top priority in 2025. Projects at the plant total over \$30 million, of which the City of Bettendorf is responsible for about \$6 million. The City is also considering a potential annexation east of current city limits that would require about \$14 million in sanitary sewer expansion projects.

Staff requests authorization to engage BakerTilly to complete a sanitary sewer rate study in order to fully understand the revenue and rate impact required by these projects and the ongoing operations of the sanitary sewer fund. The last rate study, completed in 2022, did not contemplate such large capital projects or potential annexation.

The FY26 budget includes \$15,000 for a rate study. BakerTilly proposes a cost of \$25,000 for a rate study that includes alternatives with and without annexation. The expanded study will also help to identify funding sources separate from the sewer rate for the sewer expansion related to annexation. The additional cost will be funded with existing funds in the Sanitary Sewer enterprise fund.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

The study is funded in the FY26 budget up to \$15,000. The remaining \$10,000 will be covered by existing reserves in the Sanitary Sewer enterprise fund.

List Attachments

Resolution
Engagement Letter

RESOLUTION _____ - 25

RESOLUTION AUTHORIZING THE DIRECTOR OF FINANCE TO ISSUE A PURCHASE ORDER AND ENTER INTO A CONTRACT WITH BAKERTILLY ADVISORY GROUP FOR THE COMPLETION OF AN ACROSS-THE-BOARD SANITARY SEWER RATE STUDY

WHEREAS, Council has prioritized planning for and funding critical improvements at the Waste Water Treatment Plant as a top priority in 2025; and

WHEREAS, projects at the plant total over \$30 million, of which the City of Bettendorf is responsible for about \$6 million. The City is also considering a potential annexation east of current city limits that would require about \$14 million in sanitary sewer expansion projects; and

WHEREAS, BakerTilly proposes a cost of \$25,000 for a rate study that includes alternatives with and without annexation. The expanded study will also help to identify funding sources separate from the sewer rate for the sewer expansion related to annexation. The additional cost will be funded with existing funds in the Sanitary Sewer enterprise fund.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that the Director of Finance is authorized to issue a purchase order in the amount of \$25,000 and enter into contract with BakerTilly Advisory Group for the completion of an across-the-board sanitary sewer rate study.

PASSED, APPROVED, AND ADOPTED this 3rd day of June, 2025.

Mayor Robert S. Gallagher

ATTEST:

Decker P. Ploehn, City Clerk

RE: Rate Study

DATE: 5/7/2025

This Scope Appendix is attached by reference to the above-named engagement letter (the Engagement Letter) between City of Bettendorf, Iowa (the Client) and Baker Tilly Advisory Group, LP (Baker Tilly).

SCOPE OF WORK

Baker Tilly agrees to furnish and perform the following services for the Client.

A. Across-the-Board Rate Study

1. Analyze historical recorded financial information for a period of three (3) calendar years and the most recent twelve (12) month period when applicable (the test year).
2. Detail from available records a schedule of flow of funds for the past three (3) calendar years and the test year for the purpose of determining trends, amounts of revenue, cash operation and maintenance expenses, debt service requirements and expenditures for improvements to the Utility property and plant.
3. Analyze expenses of the test year in order to locate and adjust items which should be properly capitalized, expensed or reclassified (if applicable).
4. Analyze accounts, invoices and pertinent documents and interview Client personnel and/or consulting engineers made available by the Client to determine possible changes in expenses and the possible effects of those changes (if applicable).
5. Obtain information from Client officials, engineers and/or other available sources to suggest to the Client adjustments to test year cash operating expenses such as additional labor, power costs, chemical costs, additional taxes and other fixed, known and measurable expense changes (if applicable).
6. Schedule monthly revenues of the test year in order to locate unusual and significant fluctuations in such revenue (if applicable).
7. Prepare amortization schedules of presently outstanding funded debt of the Utility extending over the life of the remaining years of payment and obtain information from bond ordinances or other documents relating to such funded debt.
8. Obtain information from the rate ordinance, tariffs and bond ordinances now in effect.
9. Assist in the development of a capital improvements program and determine alternative financial programs leading to the obtaining of funds necessary to meet the capital improvement requirements through funds now available and/or future revenues of the system and/or the use of debt financing.
10. Provide alternative estimates of future annual revenue requirements for consideration by the Client (if applicable). Alternative A: without annexation project, Alternative B: with annexation project.
11. Suggest revenue increases for the Utility as may be considered necessary to meet the estimated future annual revenue requirements under both Alternative A and B above
12. If appropriate, prepare comparative information concerning the present and possible future rate structure of the Client under both Alternative A and B above.
13. Attend 3 virtual meetings with officials of the Client to discuss findings and recommendations.*

14. Attend an in-person meeting with officials of the Client to discuss findings and recommendations.*
15. Furnish a financial report summarizing the results of Baker Tilly's studies for submission to the Client.
16. Provide financial information including a new schedule of rates and charges, if required, to the Client's attorneys for the preparation of resolutions and ordinances as may be required.
17. Attend a public hearing to be conducted by the Client to present accounting information relating to the proposed rates and charges, if a rate change is necessary.

***Additional meeting(s) will be subject to Client requests and any additional fees will be based on discussions and approval by Client.**

COMPENSATION AND INVOICING

Fees for services set forth in the Scope Appendix will be billed at standard billing rates as follows:

| Scope Section | Fee |
|---------------------------------|----------|
| A – Across-the-Board Rate Study | \$25,000 |

The above fees shall include all expenses incurred except for direct, project-related expenses such as travel costs.

BILLING PROCEDURES

Normally, you will receive a monthly statement showing fees and costs incurred in the prior month.

Occasionally, we may bill on a less frequent basis if the time involved in the prior month was minimal or if other arrangements are made. The account balance is due and payable on receipt of the statement.

Nonattest Services

As part of this engagement, we will perform certain nonattest services. For purposes of the Engagement Letter and this Scope Appendix, nonattest services include services that the *Government Auditing Standards* refers to as nonaudit services.

We will not perform any management functions or make management decisions on your behalf with respect to any nonattest services we provide.

In connection with our performance of any nonattest services, you agree that you will:

- > Continue to make all management decisions and perform all management functions, including approving all journal entries and general ledger classifications when they are submitted to you.
- > Designate an employee with suitable skill, knowledge, and/or experience, preferably within senior management, to oversee the services we perform.
- > Evaluate the adequacy and results of the nonattest services we perform.
- > Accept responsibility for the results of our nonattest services.
- > Establish and maintain internal controls, including monitoring ongoing activities related to the nonattest function.

Conflicts of Interest

Attachment A to the Engagement Letter contains important disclosure information that is applicable to this Scope Appendix.

We are unaware of any additional conflicts of interest related to this Scope Appendix that exist at this time.

Termination

This Scope Appendix will terminate according to the terms of the Engagement Letter.

If this Scope Appendix is acceptable, please sign below and return one copy to us for our files. We look forward to working with you on this important project.

Signature,

BAKER TILLY ADVISORY GROUP, LP

André J. Riley, Principal

Signature Section:

The services and terms as set forth in this Scope Appendix are agreed to on behalf of the Client by:

Name: _____

Title: _____

Date: _____

COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: Chris Curran, City Attorney and
Brent Morlok, City Engineer



Item Title

A Resolution to approve the Right of Way Construction Agreement between the City of Bettendorf and Comcast of Illinois/Indiana/Ohio, LLC.

Explanation

The City of Bettendorf has recently been approached by a new fiber communications company about a potential City-wide buildout, similar to the Metronet project that was completed in 2021.

Comcast currently operates a business only fiber optic network in thirty-nine (39) states and would like to enter the Iowa market with an initial build in Bettendorf and Davenport.

Similar to other fiber optic providers in the area, this service would be a Fiber to the Premises (FTTP) service but would only be available to commercial business customers initially. Their long-term growth plans do include a full citywide buildout to serve both residential and commercial customers. The initial service area will focus on the 53rd Street and Utica Ridge Road corridors coming from Davenport, where their network hub will be located.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments

- Resolution
- Right of Way Construction Agreement

RESOLUTION _____ - 25

**RESOLUTION TO APPROVE RIGHT OF WAY CONSTRUCTION AGREEMENT
BETWEEN THE CITY OF BETTENDORF AND COMCAST OF
ILLINOIS/INDIANA/OHIO, LLC**

WHEREAS, Comcast of Illinois/Indiana/Ohio, LLC (“Comcast”) plans to bring its commercial fiber services into the Iowa market, beginning with the cities of Bettendorf and Davenport;

WHEREAS, the City and Comcast desire to enter this Right of Way Construction Agreement to clarify construction and communication protocols throughout the build out of Comcast’s network.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that the Right of Way Construction Agreement is hereby approved, and the Mayor is authorized to sign the same.

PASSED, APPROVED, AND ADOPTED this 3rd day of June, 2025.

Mayor Robert S. Gallagher

ATTEST:

Decker P. Ploehn, City Clerk

RIGHT OF WAY CONSTRUCTION AGREEMENT

This Right of Way Construction Agreement is entered this ____ day of _____, 2025 by and between the City of Bettendorf, Iowa (the “City”) and Comcast of Illinois/Indiana/Ohio, LLC, (“Comcast”).

With the intent to be bound, Comcast and the City agree as follows:

1. Authorization.

(a) Application for Permit. Comcast proposes (or will propose upon an application for a permit) to construct and operate a network system in the public right of way within the corporate limits of the City. Comcast shall make an application for a right of way excavation permit under City Code 7-3 and such other applicable sections of the City Code, and the City will process said application for permit(s) pursuant to the City’s standard processes.

(b) Police Powers. Nothing in this Agreement shall be construed as an abrogation by the City of any of its police powers to adopt and enforce generally applicable ordinances deemed necessary for the health, safety, and welfare of the public, and Comcast shall comply with all generally applicable laws and ordinances enacted by the City pursuant to such police power.

(c) Reservation of Authority. Nothing in this Agreement shall (1) abrogate the right of the City to perform any public works or public improvements of any description, (2) be construed as a waiver of any codes or ordinances of general applicability promulgated by the City, or (3) be construed as a waiver or release of the rights of the City in and to the public ways.

2. Construction and Maintenance of the Network System.

(a) Restoration. Comcast will use commercially reasonable efforts to restore property within five (5) business days, subject to factors beyond Comcast's reasonable control. Consideration will be given to the amount of restoration needed in each location and Comcast will endeavor to conduct construction in a manner which requires the least amount of restoration (e.g. when appropriate using streets and sidewalks for equipment rather than lawns, etc.). After boring under the street, curb and sidewalks, Comcast will inspect for any heaving that may have occurred from the boring process. Notwithstanding the foregoing, in no event will Comcast be required to repair, replace or restore any personal property of a property owner that was improperly located in a utility easement.

(b) Safety Plan. Comcast will maintain a safety plan focusing on the safe excavation practices during underground network construction. A copy of such plan will be provided upon the City's written request.

(c) Construction Communications Plan. Comcast will implement a construction communications plan and will use commercially reasonable efforts to meet the following timelines and standards, as they relate to each approved permit area:

(i) At least 30 days prior to the commencement of construction in an area, Comcast will

send a detailed letter to the addresses in that area advising occupants of upcoming construction activities.

- (ii) At least 14 days prior to the commencement of construction in an area, Comcast will send a postcard reminder to the addresses in that area reminding occupants of upcoming construction activities.
- (iii) At least 3 days prior to the commencement of construction in an area, Comcast will send out street teams to place door tags on those properties where Comcast will commence with construction activities.
- (iv) All field employees, subcontractors, and street teams shall wear clothing or other apparel identifying such workers as associated with Comcast.

Each communication will include information about how a property owner may submit a damage claim in the event Comcast inadvertently causes damage to their property.

3. Indemnification.

(a) Comcast shall indemnify, defend and hold harmless the City, its officers, employees, and agents (the “Indemnitees”) from and against any injuries, claims, demands, judgments, damages, losses and expenses, including reasonable attorney’s fees and costs of suit or defense (the “Indemnification Events”), arising in the course of the Comcast constructing and operating its network system within the City. Comcast’s obligation with respect to the Indemnitees shall apply to Indemnification Events which may occur as a result of the authorization granted by this Permit, provided that the claim or action is initiated within the applicable statute of limitations. The City shall give Comcast timely written notice of its obligation to indemnify and defend the City after the City’s receipt of a claim or action pursuant to this section. For purposes of this section, the word “timely” shall mean within a time period that does not cause prejudice to the respective positions of Comcast and/or the City. Comcast shall work in good faith with the City to select legal counsel, and no counsel shall be retained unless and until both parties have provided their mutual written agreement.

(b) Comcast shall not indemnify the City for any liabilities, damages, costs or expense resulting from any willful conduct for which the City, its officers, employees and agents may be liable under the laws of the State of Iowa.

4. Miscellaneous Provisions

(a) Term. The term of this Agreement will commence upon the complete execution of the Agreement and will continue for a period of five (5) years.

(b) Notice. Any notification that requires a response or action from a party to this Agreement within a specific time-frame, or that would trigger a timeline that would affect one or both parties’ rights under this Agreement, shall be in writing and shall be sufficiently given and served upon the other party by hand delivery, first class mail, registered or certified, return receipt requested, postage prepaid, or by reputable overnight courier service and addressed as follows:

To the City:

City of Bettendorf
1609 State Street
Bettendorf, Iowa 52722
ATTN: City Administration

To Comcast:

Comcast
1701 JFK Parkway
Philadelphia, PA 19103
ATTN: VP, Local Government Affairs

Recognizing the widespread usage and acceptance of electronic forms of communication, emails and faxes will be acceptable as formal notification related to the conduct of general business amongst the parties to this Agreement, including but not limited to programming and price adjustment communications. Such communication should be addressed and directed to the person of record as specified above. Either party may change its address and addressee for notice by notice to the other party under this Section.

(c) Entire Agreement. This Agreement embodies the entire understanding and agreement of the City and the Comcast with respect to the subject matter hereof and supersedes all prior and contemporaneous agreements, understandings, negotiations and communications, whether written or oral.

(d) Severability. If any section, subsection, sentence, clause, phrase, or other portion of this Permit is, for any reason, declared invalid, in whole or in part, by any court, agency, commission, legislative body, or other authority of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent portion. Such declaration shall not affect the validity of the remaining portions hereof, which other portions shall continue in full force and effect. If any material provision of this Permit is made or found to be unenforceable by such a binding and final decision, either party may notify the other in writing that the Permit has been materially altered by the change and of the election to begin negotiations to amend the Permit in a manner consistent with said proceeding or enactment; provided, however, that any such negotiated modification shall be competitively neutral, and the parties shall be given sufficient time to implement any changes necessitated by the agreed-upon modification.

(e) Governing Law. This Permit shall be deemed to be executed in the State of Iowa, and shall be governed in all respects, including validity, interpretation and effect, and construed in accordance with, the laws of the State of Iowa and/or Federal law, as applicable.

(f) Venue. Except as to any matter within the jurisdiction of the federal courts or a federal regulatory agency, all judicial actions relating to any interpretation, enforcement, dispute resolution or any other aspect of this Agreement shall be brought in state court located in Scott County, Iowa. Any matter brought pursuant to the jurisdiction of the federal court shall be brought in the United States District Court located in Davenport, Iowa.

(g) No Third-Party Beneficiaries. Nothing in this Agreement is intended to confer third-party beneficiary status on any person, individual, corporation or member of the public to enforce the terms of this Agreement.

(h) No Waiver of Rights. Nothing in this Agreement shall be construed as a waiver of any rights, substantive or procedural, the City or Comcast may have under Federal or state law unless such waiver is expressly stated herein.

(i) Validity of Agreement. The parties acknowledge and agree in good faith on the validity of the provisions, terms and conditions of this Agreement, in their entirety, and that the Parties have the power and authority to enter into the provisions, terms, and conditions of this Agreement.

IN WITNESS WHEREOF, this Agreement has been executed by the duly authorized representatives of the parties as set forth below, as of the date set forth below:

For Comcast:

For City of Bettendorf, Iowa:

Title: _____

Title: _____

Date: _____

Date: _____

COUNCIL LETTER

MEETING DATE: June 3, 2025
REQUESTED BY: Brent O. Morlok, P.E. City Engineer



Item Title

Resolution approving a preconstruction agreement with the Iowa Department of Transportation for the I-80 and Middle Road Interchange Reconstruction Project.

Explanation

The Iowa Department of Transportation (IADOT) is required to enter into a preconstruction agreement with any local government if an IADOT project is going to impact the infrastructure of that community. The I-80 and Middle Road Interchange Reconstruction Project will completely reconstruct not only the interstate and the associated exit and entrance ramps, but also Middle Road from just north of Competition Drive to approximately nine hundred feet (900') south of Indiana Avenue. As part of that project, the City is also requesting that a ten foot (10') recreational trail be constructed on the east side of Middle Road as well as new streetlighting, associated conduit and wiring and streetscaping elements similar to the established designs already present in the corridor. The City is responsible for funding those items.

The agreement itself covers these project costs and reimbursements, ownership and maintenance obligations of the various improvements and other general provisions. This agreement is very similar in nature to the preconstruction agreement approved for the I-74 Bridge project.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

This project (PW0586) is programmed in FY28 with a total budget of \$2,100,000 within the Community Improvement Program (CIP).

List Attachments

Resolution; Agreement.

RESOLUTION NO. _____-25

**RESOLUTION APPROVING A PRECONSTRUCTION AGREEMENT WITH THE IOWA
DEPARTMENT OF TRANSPORTATION FOR THE I-80 AND MIDDLE ROAD INTERCHANGE
RECONSTRUCTION PROJECT**

WHEREAS, the City of Bettendorf and the Iowa Department of Transportation desire to increase the safety and operational efficiency of the I-80 and Middle Road interchange; and

WHEREAS, the City of Bettendorf desires to make additional improvements as part of the project which will be funded directly by the City; and

WHEREAS, both parties have prepared an agreement to memorialize the conditions and responsibilities of the project and associated improvements;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that the Mayor and City Clerk are hereby authorized and directed to execute the agreement.

Passed, Approved and Adopted this 3rd day of June, 2025.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk

**IOWA DEPARTMENT OF TRANSPORTATION
Preconstruction Agreement
For Primary Road Project**

| | |
|---------------------------|---|
| County | Scott |
| City | Bettendorf |
| Project No. | IM-NHS-080-8(357)300--03-82 PCC Pavement - Grade & New IM-080-8(358)300--13-82 Traffic Signs IM-080-8(359)300--13-82 Lighting IM-NHS-080-8(360)301--03-82 Bridge Replacement - PPCB IM-NHS-080-8(361)301--03-82 RCB Culvert Extension- Triple Box IM-080-8(373)300--13-82 Traffic Signals |
| Iowa DOT Agreement No. | 2025-4-097 |
| Staff Action No. | |

This Agreement, is entered into by and between the Iowa Department of Transportation, hereinafter designated "DOT", and the city of Bettendorf, Iowa, a Local Public Agency, hereinafter designated "LPA", in accordance with Iowa Code Chapters 28E, 306, 306A and 313.4 as applicable;

The DOT proposes to establish or make improvements to Interstate 80 (I-80) within Scott County, Iowa; and

The DOT and the LPA are willing to jointly participate in said project, in the manner hereafter provided; and

The DOT and the LPA previously entered into the following agreement for the above referenced project: Agreement No. 2024-1-042 for Right of Way was executed by the LPA and DOT on December 19, 2023 and January 8, 2024 respectively; and

This Agreement reflects the current concept of this project which is subject to modification by mutual agreement between the LPA and the DOT; and

Therefore, it is agreed as follows:

1. Project Information

- a. The DOT shall design, let, and inspect construction of the following described project in accordance with the project plans and DOT Standard Specifications:

Reconstruction of the I-80 / Middle Road Interchange from one (1) mile west of Middle Road to one (1) mile east of Middle Road. See Exhibit A for project location.

- b. As part of the referenced projects, the LPA has requested Portland cement concrete (PCC) paver bases, subbase, and amended soil from Station 212+88.0 to Station 244+75.0, recreational trail, subdrainage systems (sanitary sewers), and lighting and associated work within the city of Bettendorf all which shall be at no cost to the DOT. See Exhibit B for estimated LPA costs. The projects including LPA requested work and cost shares are further described as follows:

Project IM-NHS-080-8(357)300--03-82 is a highway improvement project located along I-80 and Middle Road. The project scope includes grading and pavement reconstruction of both eastbound and westbound lanes of I-80, the construction of interchange ramps, and municipal improvements along Middle Road. The project includes LPA items, which consist of, but are not limited to, PCC pavers, subbase, amended soil, recreational trail, and subdrainage systems (sanitary sewers).

Project IM-080-8(359)300--13-82 is a highway and municipal lighting improvement project located along I-80 and Middle Road. The project includes LPA items, which consist of, but are not limited to, lighting poles, luminaires, meter enclosures, control cabinets, electrical circuits, and handholes.

- c. All storm sewers constructed by the DOT as part of the project shall become the property of the LPA, which shall be responsible for their maintenance and operations. The LPA shall not make any connections to said storm sewers without the prior written approval of the DOT. The LPA shall prevent use of such storm sewers as a sanitary sewer.
- d. Upon completion of construction, the LPA agrees to retain ownership and jurisdiction of the following referenced improvements as identified below. The LPA shall also assume responsibility for all future maintenance operations associated therewith, all at no additional expense or obligation to the DOT:
 - i. All roadway and other improvements located on Middle Road, as described in Paragraph 1b. of this Agreement.
 - ii. Sanitary sewers and associated work.
 - iii. Project IM-NHS-080-8(361)301--03-82 will replace the existing Triple 12-Foot x 12-Foot Reinforced Concrete Box (RCB) culvert on Middle Road over Spencer Creek at Station 234+99.60.
 - iv. Recreational trail.
 - v. Lighting and associated work, as described in Paragraph 1b. of this Agreement.
 - vi. Traffic signals and associated work.
 - vii. PCC paver bases, associated subbase, and amended soil to be placed from Station 209+90.5 to Station 212+88.0. See Exhibit C for details of the planned work.

2. Project Costs

- a. The LPA share of the project costs is estimated at \$1,271,138. The actual amount shall be determined by the quantities in place, the accepted bid at the contract letting, and any extra work that may need to be performed to complete construction of the LPA requested work. The DOT will obtain LPA concurrence for extra work costs, that will be an LPA cost responsibility, prior to the extra work being performed.

The LPA shall be provided a \$65,000 credit that will be reduced from their \$1,271,138 estimated project cost share. The \$65,000 credit is based upon the estimated costs the LPA will incur to restore existing landscaping work along Middle Road that will be removed as part of the interchange reconstruction projects. The LPA will let a future project to have the landscaping restored. See Exhibit C for details of the planned landscaping work.

The LPA shall reimburse the DOT for their total project cost share, estimated at \$1,206,138 (\$1,271,138 - \$65,000 credit), as shown in Exhibit B. This amount shall be paid by the LPA upon completion of the interchange construction projects and billing by the DOT.

- b. The DOT shall bear all costs except those allocated to the LPA under other terms of this Agreement.

3. Traffic Control

- a. I-80 through-traffic shall be maintained during the construction.
- b. It shall be necessary to temporarily close the I-80 on and off ramps providing access to and from

Middle Road, and portions of LPA side road Middle Road, during construction. The temporary closures will occur throughout various project phases. See Exhibit D for the traffic control plan and staging details. The DOT shall furnish and install the required barricades and signing for the closures at project cost and shall remove same upon completion of the project also at no expense or obligation to the LPA. The DOT shall work in close cooperation with the LPA and the contractor to accommodate emergency services and local access across the project during construction. Any detours which may be necessary for project related LPA road closures shall be the responsibility of the LPA all at no expense or obligation to the DOT.

4. Right of Way and Permits

- a. Subject to the provisions hereof, the LPA, in accordance with 761 Iowa Administrative Code Chapter 150.3(1)c and 150.4(2), shall remove or cause to be removed (within the corporate limits) all encroachments or obstructions in the existing primary highway right of way. The LPA shall also prevent the erection and/or placement of any structure or obstruction on said right of way or any additional right of way which is acquired for this project including but not limited to private signs, buildings, pumps, and parking areas.
- b. The DOT shall be responsible for the coordination of utility facility adjustments for the primary road project.
- c. The LPA agrees to relocate all city-owned utilities necessary for construction which are located within the existing street or alley right of way, subject to the approval of and without expense to the DOT and in accordance with 761 Iowa Administrative Code Chapter 150.4(5) and the DOT Utility Accommodation Policy.
- d. With the exception of service connections, no new or future utility occupancy of project right of way nor any future relocations of or alterations to existing utilities within said right of way shall be permitted or undertaken by the LPA without the prior written approval of the DOT. All work shall be performed in accordance with the Utility Accommodation Policy and other applicable requirements of the DOT.

5. Construction & Maintenance

- a. Upon completion of the project, no changes in the physical features thereof shall be undertaken or permitted without the prior written approval and consent of the DOT.
- b. Future maintenance of the primary highway within the project area shall be carried out in accordance with the terms and conditions contained in 761 Iowa Administrative Code Chapter 150.
- c. New lighting construction for this project shall be provided under guidelines established in 761 Iowa Administrative Code Chapter 150. Lighting installations shall not be constructed as part of the project unless specifically requested by the LPA. Lighting which is requested by the LPA shall also be paid for entirely by the LPA at no cost to the DOT or project. If constructed, the LPA shall accept ownership of and responsibility for future energy and maintenance costs of those lighting units which lie within the corporate boundaries.
- d. New traffic signal construction for this project shall be provided under guidelines established in 761 Iowa Administrative Code Chapter 150. The DOT shall construct traffic signal installations all at no cost to the LPA. If constructed, the LPA shall accept ownership of and responsibility for future energy and maintenance costs of those traffic signal units which lie within the corporate boundaries.
- e. Structures built by the DOT over or under a primary road shall be maintained by the DOT, including repairs to floors and railing and painting. For structures serving roadways which are not on the primary road system, the cleaning and removal of snow, debris and foreign objects from local road traffic lanes, sidewalks or walkways within the project limits (if any) including pedestrian overpasses

or underpasses shall be the responsibility of the LPA.

6. General Provisions

- a. If the LPA has completed a Flood Insurance Study (FIS) for an area which is affected by the proposed Primary Highway project and the FIS is modified, amended or revised in an area affected by the project after the date of this Agreement, the LPA shall provide notice of the modification, amendment or revision to the DOT within 14 calendar days of the LPA's receipt of a subsequent FIS or modification. If the LPA does not have a detailed Flood Insurance Study (FIS) for an area which is affected by the proposed Primary Highway project and the LPA does adopt an FIS in an area affected by the project after the date of this Agreement, the LPA shall provide notice of the FIS to the DOT within 14 calendar days. The LPA agrees to defend, indemnify and hold the DOT harmless from any and all claims, costs, and damages arising from or related to the LPA's failure to timely provide an FIS or and FIS modification to the DOT in accordance with this provision.
- b. The LPA shall comply with all provisions of the equal employment opportunity requirements prohibiting discrimination and requiring affirmative action to assure equal employment opportunity as required by Title VI of the Civil Rights Act of 1964 and Iowa Code Chapter 216. No person shall, on the grounds of age, race, creed, color, sex, sexual orientation, gender identity, national origin, religion, pregnancy, or disability, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity for which State funds are used.
- c. It is the intent of both (all) parties that no third-party beneficiaries be created by this Agreement.
- d. If any section, provision, or part of this Agreement shall be found to be invalid or unconstitutional, such finding shall not affect the validity of the Agreement as a whole or any section, provision, or part thereof not found to be invalid or unconstitutional, except to the extent that the original intent of the Agreement cannot be fulfilled.
- e. This Agreement, as well as the unaffected provisions of any previous agreement(s), addendum(s), and/or amendment(s); represents the entire Agreement between the LPA and DOT regarding this project. All previously executed agreements shall remain in effect except as amended herein. Any subsequent change or modification to the terms of this Agreement shall be in the form of a duly executed amendment to this document.

IN WITNESS WHEREOF, each of the parties hereto has executed Agreement No. 2025-4-097 as of the date shown opposite its signature below.

CITY OF BETTENDORF:

By: _____ Date _____, 20__.
Title: Mayor

I, _____, certify that I am the Clerk of the City, and that _____, who signed said Agreement for and on behalf of the City was duly authorized to execute the same on the ____ day of _____, 20__.

Signed: _____
City Clerk of Bettendorf, Iowa

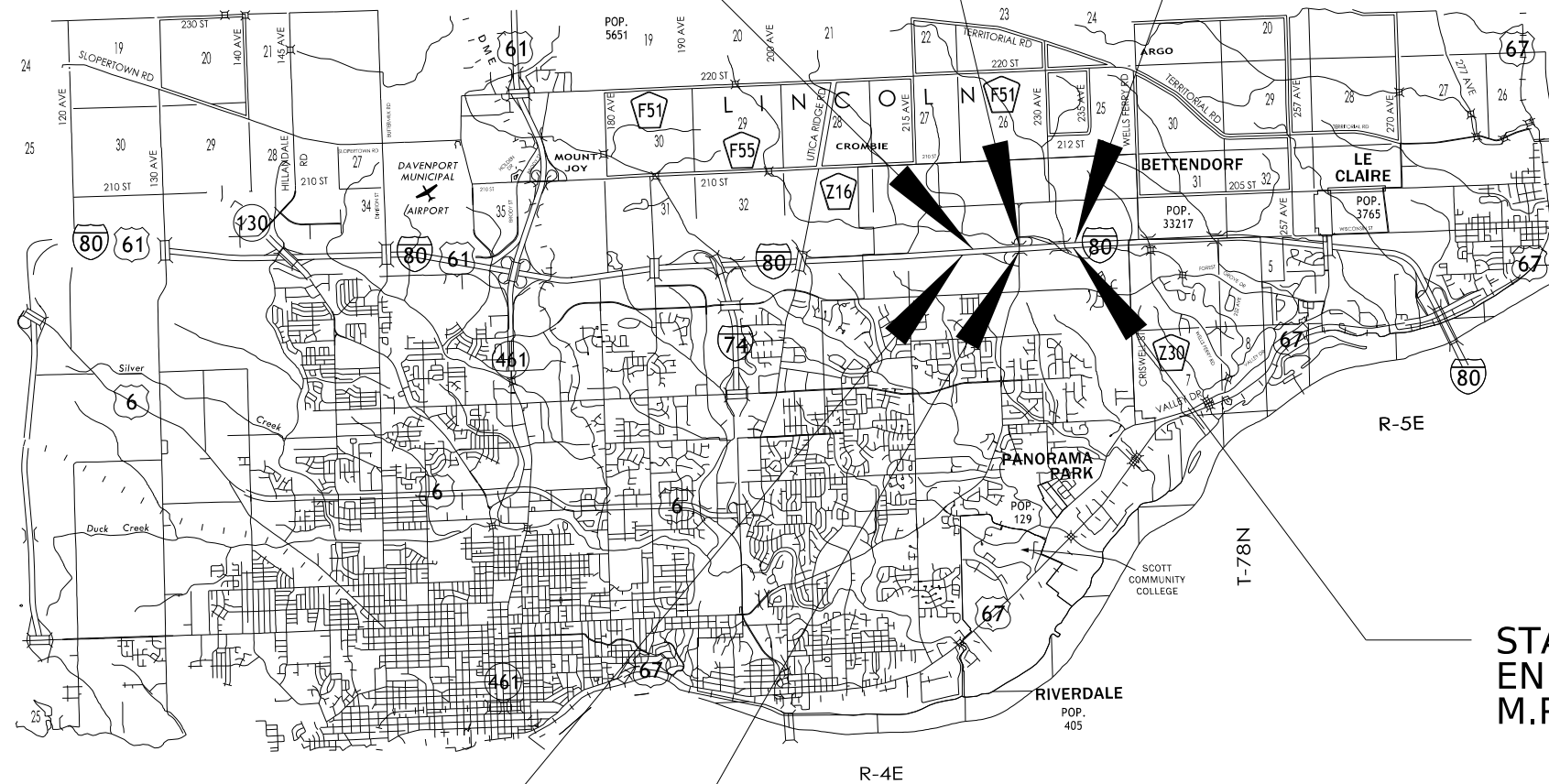
IOWA DEPARTMENT OF TRANSPORTATION:

By: _____ Date _____, 20__.
James R. Schnoebelen, P.E.
District Engineer
District 6

PROPOSED I-80 WB BRIDGE OVER MIDDLE ROAD
 FHWA BRIDGE NO. :47631
 BRIDGE DESIGN NO. 425

STA. 1197+00.00
 BEGIN WBL Project
 M.P. 300.76

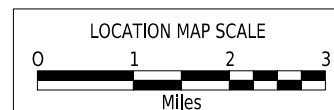
STA. 1258+00.00
 END WBL Project
 M.P. 301.92



STA. 1196+00.00
 BEGIN EBL Project
 M.P. 300.74

STA. 1257+00.00
 END EBL Project
 M.P. 301.90

PROPOSED I-80 EB BRIDGE OVER MIDDLE ROAD
 FHWA BRIDGE NO. :47621
 BRIDGE DESIGN NO. 325



| IM-NHS-080-8(357)300--03-82 | | | | | |
|-----------------------------|---|-------|----------|------------------|---------------------|
| 100% City - Roadway | | | | | |
| Item Number | Item Description | Units | Quantity | Cost Used | Line Total |
| 2115-0100000 | MODIFIED SUBBASE | CY | 895.20 | \$33.84 | \$30,293.57 |
| 2301-4875004 | MEDIAN, P.C. CONCRETE, 4 IN. | SY | 1,303.80 | \$50.00 | \$65,190.00 |
| 2502-8212034 | SUBDRAIN, LONGITUDINAL, (SHOULDER) 4 IN. DIA. | LF | 2,780.00 | \$9.08 | \$25,242.40 |
| 2502-8221303 | SUBDRAIN OUTLET, DR-303 | EA | 10.00 | \$395.41 | \$3,954.10 |
| 2511-0302500 | RECREATIONAL TRAIL, PORTLAND CEMENT CONCRETE, 5 IN. | SY | 3,340.70 | \$80.00 | \$267,256.00 |
| 2511-0310100 | SPECIAL COMPACTION OF SUBGRADE FOR RECREATIONAL TRAIL | STA | 30.10 | \$430.96 | \$12,971.90 |
| 2511-7528101 | DETECTABLE WARNINGS | SF | 118.00 | \$47.11 | \$5,558.98 |
| 2537-8900500 | AMENDED SOIL | CY | 265.00 | \$85.00 | \$22,525.00 |
| | | | | Subtotal: | \$432,991.94 |
| | | | | 11% Contingency: | \$47,629.11 |
| | | | | Total: | \$480,621.06 |

| IM-NHS-080-8(357)300--03-82 | | | | | |
|----------------------------------|--|-------|----------|------------------|---------------------|
| 100% City - Sanitary Sewer Items | | | | | |
| Item Number | Item Description | Units | Quantity | Cost Used | Line Total |
| 2435-0130148 | MANHOLE, SANITARY SEWER, SW-301, 48 IN. | EA | 2.00 | \$10,000.00 | \$20,000.00 |
| 2504-0110024 | SANITARY SEWER GRAVITY MAIN, TRENCHED, 24 IN. | LF | 260.00 | \$325.00 | \$84,500.00 |
| 2537-6911020 | SAMPLING AND TESTING FOR PETROLEUM CONTAMINATION (WATER AND SOIL SAMPLES FOR REMOVAL OF UNDERGROUND TANKS) | EA | 4.00 | \$5,000.00 | \$20,000.00 |
| 2537-8900000 | REMEDICATION OF PETROLEUM CONTAMINATED SOIL | CY | 10.00 | \$350.00 | \$3,500.00 |
| 2552-0000210 | TRENCH FOUNDATION | TON | 10.00 | \$50.00 | \$500.00 |
| 2552-0000220 | REMOVAL, DISPOSAL, AND REPLACEMENT OF UNSUITABLE BACKFILL MATERIAL | CY | 15.00 | \$75.00 | \$1,125.00 |
| 2552-0000300 | TRENCH COMPACTION TESTING | LS | 1.00 | \$2,500.00 | \$2,500.00 |
| 2599-9999005 | ('EACH' ITEM) MANHOLE MARKER | EA | 3.00 | \$250.00 | \$750.00 |
| | | | | Subtotal: | \$132,875.00 |
| | | | | 11% Contingency: | \$14,616.25 |
| | | | | Total: | \$147,491.25 |

| IM-080-8(359)300--13-82 | | | | | |
|-------------------------|---|-------|----------|------------------|---------------------|
| 100% City - Lighting | | | | | |
| Item Number | Item Description | Units | Quantity | Cost Used | Line Total |
| 2523-0000310 | HANDHOLES AND JUNCTION BOXES | EA | 8.00 | \$1,132.85 | \$9,062.80 |
| 2523-0000400 | CONTROL CABINET | EA | 1.00 | \$15,000.00 | \$15,000.00 |
| 2599-9999005 | ('EACH' ITEM) METER ENCLOSURE | EA | 1.00 | \$4,000.00 | \$4,000.00 |
| 2599-9999005 | ('EACH' ITEM) LIGHTING POLE - CITY | EA | 28.00 | \$15,000.00 | \$420,000.00 |
| 2599-9999009 | ('LINEAR FEET' ITEM) ELECTRICAL CIRCUITS - CITY | LF | 6,562.00 | \$20.00 | \$131,240.00 |
| | | | | Subtotal: | \$579,302.80 |
| | | | | 11% Contingency: | \$63,723.31 |
| | | | | Total: | \$643,026.11 |

| Future LPA Let Project to Restore Landscaping Removed as Part of Interchange Reconstruction. See details in Exhibit C. | | | | | |
|--|--|-------|----------|---------------|----------------------|
| 100% DOT Credit to LPA Cost Shares | | | | | |
| Item Number | Item Description | Units | Quantity | Cost Used | Line Total |
| | RHUS AROMATICA 'GROW-LOW' (RA) | Each | 63.00 | (\$70.00) | (\$4,410.00) |
| | PANICUM VIRGATUM 'CHEYENNE SKY' (PV) | Each | 102.00 | (\$25.00) | (\$2,550.00) |
| | SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA' (SS) | Each | 182.00 | (\$25.00) | (\$4,550.00) |
| | SPIRAEA 'GOLDMOUND' (SG) | Each | 112.00 | (\$70.00) | (\$7,840.00) |
| | CONCRETE MOW STRIP | SF | 22.00 | (\$38.50) | (\$847.00) |
| | BACK OF CURB PAVERS | SF | 1,200.00 | (\$30.00) | (\$36,000.00) |
| | MULCHING, ORGANIC HARDWOOD MULCH | CY | 30.00 | (\$100.00) | (\$3,000.00) |
| | WATERING FOR PLANTS | MGAL | 10.00 | (\$60.00) | (\$600.00) |
| | | | | Subtotal: | (\$59,797.00) |
| | | | | Contingency: | (\$5,203.00) |
| | | | | Total: | (\$65,000.00) |

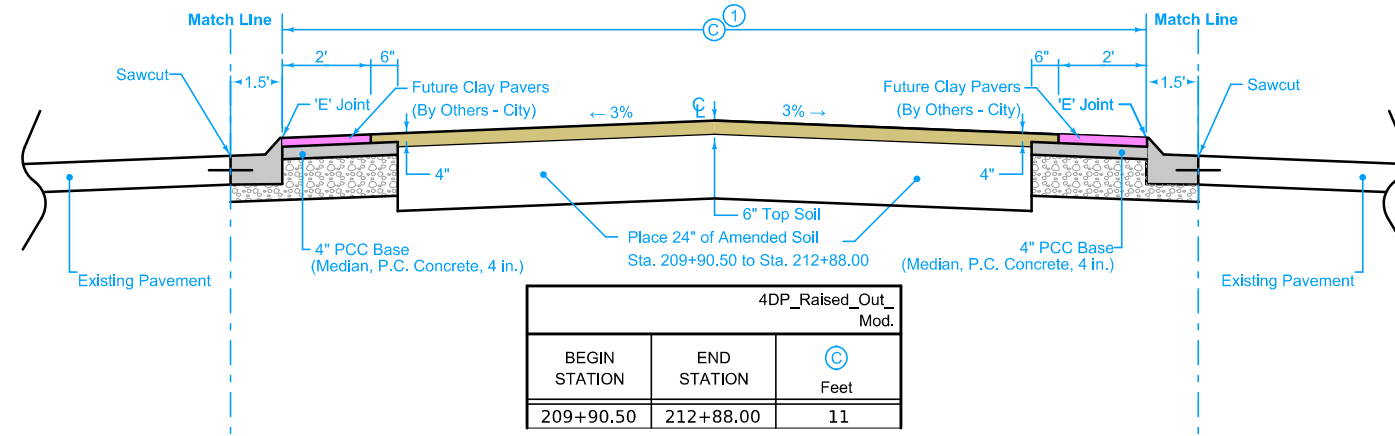
Total LPA Cost Share: \$1,206,138.42

Curbed Shoulder

Shoulder Jointing:

Transverse Joints: C at 17' Spacing
Longitudinal Joints: BT-2

| STATION TO STATION | | (P) Feet | Curb Type See PV-102 |
|--------------------|-----------|-------------|-------------------------|
| 209+90.50 | 212+88.00 | 3 | 6" STD |



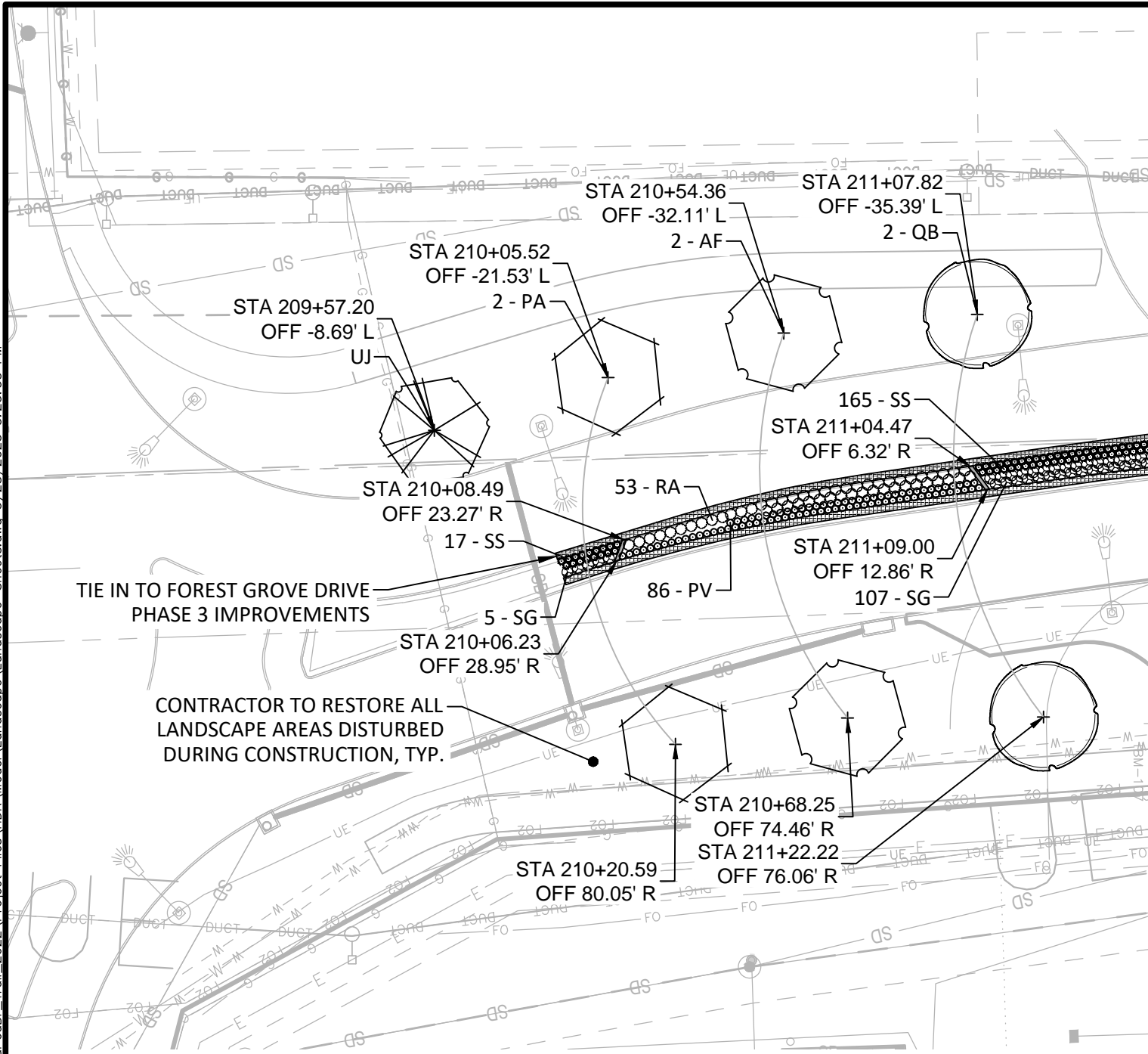
| 4DP_Raised_Out_Mod. | | |
|---------------------|-------------|-------------|
| BEGIN STATION | END STATION | (C) Feet |
| 209+90.50 | 212+88.00 | 11 |

Curbed Shoulder

Shoulder Jointing:

Transverse Joints: C at 17' Spacing
Longitudinal Joints: BT-2

| STATION TO STATION | | (P) Feet | Curb Type See PV-102 |
|--------------------|-----------|-------------|-------------------------|
| 209+90.50 | 212+88.00 | 3 | 6" STD |



NOTE: SHEETS UR.3 AND UR.4 ILLUSTRATE RESTORATION OF THE FOREST GROVE DRIVE PHASE 3 PROJECT. QUANTITIES FOR THE FOREST GROVE DRIVE PHASE 3 RESTORATION ARE:

- 63 RHUS AROMATICA 'GROW-LOW' (RA)
- 102 PANICUM VIRGATUM 'CHEYENNE SKY' (PV)
- 182 SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA' (SS)
- 112 SPIRAEA 'GOLDMOUND' (SG)
- 22 SF CONCRETE MOW STRIP
- 1200 SF BACK OF CURB PAVERS

SHRUBS; EST. @ \$70.00 / EA = \$12,250

ORNAMENTAL GRASS (1 GAL); EST. @ \$25.00 / EA = \$7,100

EST. @ \$38.50 / LF = \$850

EST. @ \$30 / SF = \$36,000 (PAVER WORK ONLY)

YOU'LL ALSO WANT TO CONSIDER THE FOLLOWING:

CITY PROJECT COSTS:

TOTAL CITY WORK: EST @ \$59,800 (10%) = \$65,000

- * MULCHING, ORGANIC HARDWOOD MULCH 30 CY @ \$100/CY = \$3,000
- * WATERING FOR PLANTS 10 MGAL(?) @ \$60/MGAL = \$600

DOT PROJECT COST CONSIDERATIONS:

- this work is being done with DOT work*
- *PCC PAVER BASE (4-INCH) 1200 SF = 134 SY @ \$50.00/SY = \$6,700
- *AMENDED TOPSOIL FOR PLANTINGS 245 CY @ \$85/SY = \$20,825

RESTORATION LIMITS:
STA 209+90.50 TO STA 212+88.00
= 297.5 LF by 11' wide by 24" deep amended soils

PAVING LEGEND

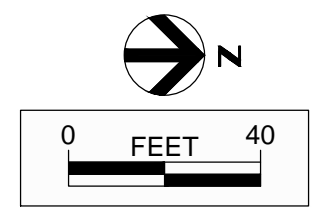
- BACK OF CURB PAVERS SEE DETAILS ON UR SHEETS
- STAMPED CONCRETE SEE SPECIAL PROVISIONS

AMENITIES LEGEND

- CONCRETE MOW STRIP; SEE DETAILS ON UR SHEETS
- STACKED LIMESTONE BLOCK WALL; SEE DETAILS ON UR SHEETS

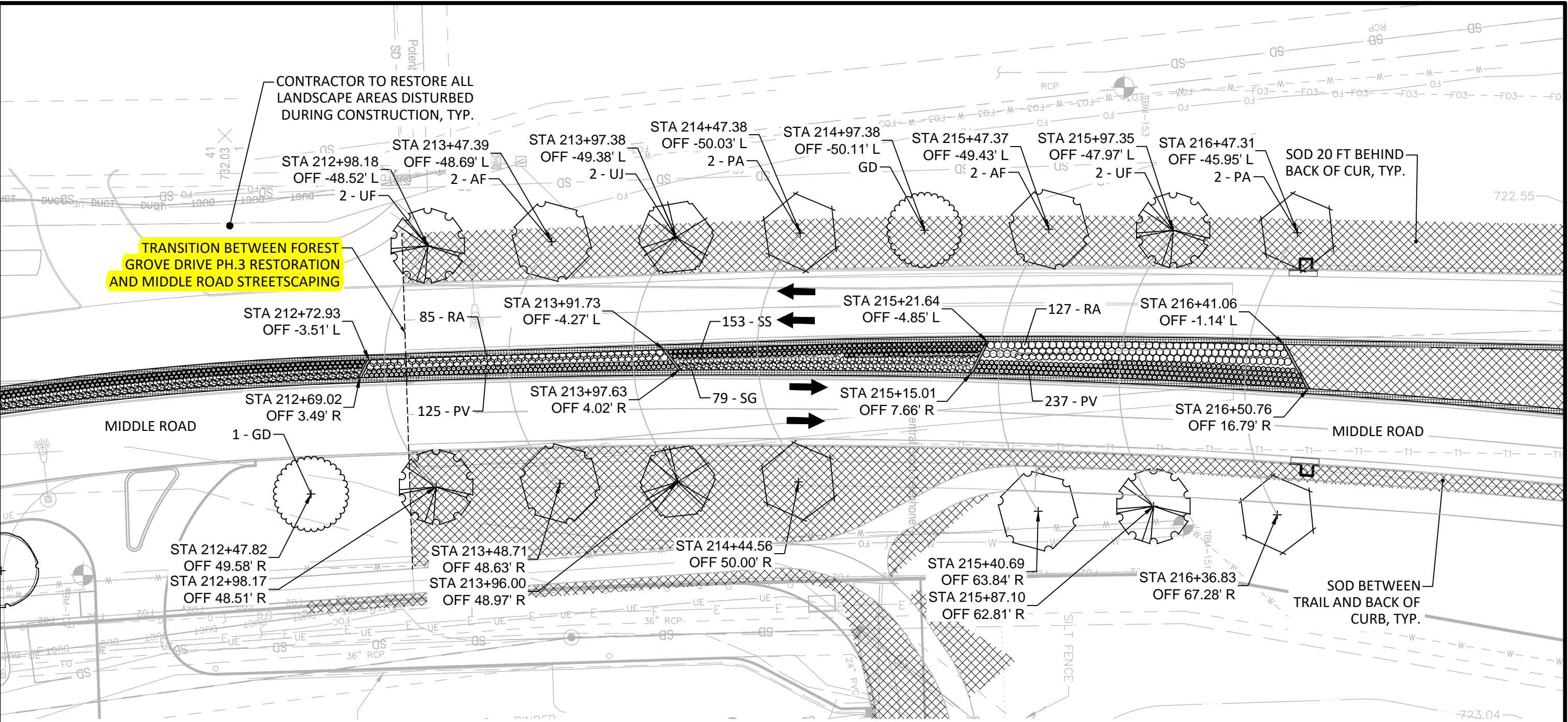
LANDSCAPE HATCH LEGEND

- NGP MIX, SEE GENERAL LANDSCAPE NOTE 8
- SOD, SEE IOWA DOT STANDARD



STREETSCAPING

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PAVING LEGEND

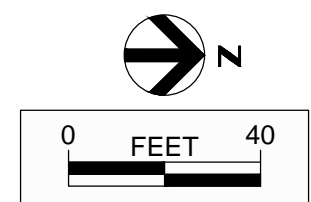
- BACK OF CURB PAVERS SEE DETAILS ON UR SHEETS
- STAMPED CONCRETE SEE SPECIAL PROVISIONS

AMENITIES LEGEND

- CONCRETE MOW STRIP; SEE DETAILS ON UR SHEETS
- STACKED LIMESTONE BLOCK WALL; SEE DETAILS ON UR SHEETS

LANDSCAPE HATCH LEGEND

- NGP MIX, SEE GENERAL LANDSCAPE NOTE 8
- SOD, SEE IOWA DOT STANDARD




STREETSCAPING

PLANT SCHEDULE

| KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | SPACING/REMARKS |
|-------------------------------|-----|--|----------------------------------|--------|-------|------------------|
| CANOPY TREES | | | | | | |
| AF | 6 | ACER X FREEMANII | FREEMAN MAPLE | 3" CAL | B&B | SPECIMEN QUALITY |
| GD | 2 | GYMNOCLADUS DIOICUS 'ESPRESSO' | ESPRESSO KENTUCKY COFFEETRE | 2" CAL | B&B | SPECIMEN QUALITY |
| PA | 18 | PLATANUS X ACERIFOLIA 'MORTON CIRCLE' | EXCLAMATION PLANETREE | 3" CAL | B&B | SPECIMEN QUALITY |
| GB | 21 | GINKGO BILOBA 'PRINCETON SENTRY' | PRINCETON SENTRY GINKGO | 2" CAL | B&B | SPECIMEN QUALITY |
| QB | 2 | QUERUCS BICOLOR | SWAMP WHITE OAK | 3" CAL | B&B | SPECIMEN QUALITY |
| UF | 4 | ULMUS 'FRONTIER' | FRONTIER ELM | 3" CAL | B&B | SPECIMEN QUALITY |
| UJ | 3 | ULMUS JAPONICA X WILSONIANA 'MORTON' | ACCOLADE ELM | 3" CAL | B&B | SPECIMEN QUALITY |
| EVERGREEN TREES | | | | | | |
| PG | 8 | PICEA GLAUCA 'DENSATA' | BLACK HILLS SPRUCE | 8' HT | B&B | SPECIMEN QUALITY |
| PP | 4 | PICEA PUNGENS | COLORADO BLUE SPRUCE | 8' HT | B&B | SPECIMEN QUALITY |
| DECIDUOUS SHRUBS | | | | | | |
| SG | 191 | SPIRAEA 'GOLDMOUND' | GOLDMOUND SPIRAEA | #3 | CONT. | 1'-6" O.C. |
| RA | 265 | RHUS AROMATICA 'GROW-LOW' | GRO-LOW SUMAC | #3 | CONT. | 1'-0" O.C. |
| GRASSES AND PERENNIALS | | | | | | |
| CA | 130 | CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER' | KARL FORESTER FEATHER REED GRASS | #1 | CONT. | 2'-6" O.C. |
| PV | 448 | PANICUM VIRGATUM 'CHEYENNE SKY' | CHEYENNE SKY SWITCHGRASS | #1 | CONT. | 2'-0" O.C. |
| SH | 572 | SPOROBOLUS HETEROLEPIS | PRAIRIE DROPSEED | #1 | CONT. | 3'-0" O.C. |
| SS | 335 | SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA' | BLUE HEAVEN LITTLE BLUESTEM | #1 | CONT. | 2'-6" O.C. |

HATCH LEGEND:

 NATIVE GRASSES AND PERENNIALS SEED MIX (NGP MIX) SEE GENERAL LANDSCAPE NOTE 8

 SOD, SEE IOWA DOT STANDARD

GENERAL LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL REFERENCE THE SPECIAL PROVISION FOR LANDSCAPE PLANTING SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL LOCATE ALL TREES AS INDICATED ON THE COORDINATE TABLE ON THE K SHEETS. ALL NORTHING AND EASTING COORDINATES ARE TO THE CENTER OF THE IDENTIFIED TREES TRUNK.
3. EXISTING UTILITY FACILITIES SHOWN ARE FROM LOCATES OR RECORDS PROVIDED BY OTHERS AND SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL NOTIFY THE ONE-CALL SYSTEM TO IDENTIFY THE LOCATION OF ALL UNDERGROUND UTILITY FACILITIES WITHIN THE PLANTING AREAS.
4. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING AND PROPOSED SITE UTILITIES PRIOR TO THE INSTALLATION OF PLANT MATERIAL. IF A CONFLICT ARISES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
5. PLANTING AREAS SHALL RECEIVE AMENDED TOPSOIL TO THE APPROPRIATE DEPTHS, PER PLANT TYPE AND LOCATION
 - TREE PITS - 30"
 - SHRUB, GRASSES, PERENNIALS, "NGP" AREAS - 12"
6. ALL TREES AND SHRUB/PERENNIAL PLANTING AREAS SHALL RECEIVE ORGANIC, HARDWOOD MULCH, AS SPECIFIED IN THE SPECIAL PROVISIONS.
7. TEMPORARY IRRIGATION IS REQUIRED FOR ESTABLISHMENT OF ALL LANDSCAPING. WATER REQUIREMENTS PER SECTION 2610 OF STANDARD SPECIFICATIONS.
8. NATIVE GRASSES & PERENNIALS SEED MIX AREAS (NGP AREAS) SHALL BE SEEDED TO WITH THE FOLLOWING REQUIREMENTS:
 - 50% HUSKER LI'L WILDFLOWER MIX BY STOCK SEED FARMS AT A BROADCAST RATE OF 1 LB / 3,500 SF
 - 50% PRAIRIE PARTNERS MIX BY STOCK SEED FARMS AT A BROADCAST RATE OF 1 LB/1000 SF
 - SEED INSTALLATION SHALL COMPLY WITH IOWA DOT STANDARD SPECIFICATIONS
 - SEED SUBSTITUTIONS SHALL BE APPROVED BY PROJECT ENGINEER.

For Review

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TRAFFIC CONTROL PLAN

108-23A
08-01-08

1. Traffic on I-80, entrance and exit ramp/loop movements, and Middle Road shall be maintained at all times with the following exceptions:
 - A. EB entrance ramp from Middle Road may be closed as defined in the proposal. See proposal for site time requirements.
 - B. WB entrance ramp from Middle Road may be closed as defined in the proposal. See proposal for site time requirements.
 - C. Middle Road will be closed for work performed north of the interchange. See proposal for site time requirements.
 - i. Work performed north of the interchange will occur during multiple stages. This work consists of storm sewer, grading, and paving north of the interchange. And it includes construction of the RCB and sanitary sewer crossing Middle Road. Installation of the sanitary sewer shall be completed concurrently with construction of the RCB crossing on Middle Road.
 - D. Middle Road shall be closed within the interchange ramps for removal of existing bridges and setting of new bridge beams. Middle Road closure for this work is limited to nighttime closures for Sunday thru Thursday nights from 9 PM to 6 AM.
2. Lane closures on I-80 will not be permitted except as noted on the Allowable Closure Map in the J sheets.
3. Lane closures on Middle Road will not be permit permitted weekdays (Monday thru Friday) from 6 AM to 9 AM and 3 PM to 6 PM.
4. Shoulder closures and partial ramp closures (TC-416) will be limited to the No Shoulder Closures Allowed times noted on the Allowable Closure Map in the J sheets.
 - A. Within these limits, traffic control devices shall not be placed in the traveled way during the No Shoulder Closure times.
 - B. Median shoulder and outside shoulders shall not be closed simultaneously for the same direction of traffic.
5. There are no time restrictions for work beyond the outside of the interstate shoulder. Traffic control shall be in place for this work per TC-402.
6. Temporary Barrier Rail (TBR) shall not be in place to create a chute condition during the winter periods of November 15 to April 1. A chute is defined as temporary barrier rail located on both the inside and outside shoulders for a direction of traffic; or, when a temporary barrier rail separates two-way (head-to-head) traffic on a bridge.
7. The Owner reserves the right to modify lane closure and shoulder closure hours as necessary to accommodate unexpected traffic volumes or traffic patterns.
8. Access to properties on Middle Road shall be maintained at all times.
9. Contractor shall provide the Engineer 14 calendar day notice for operations that include use of detours or require law enforcement support.
10. Additional payment will not be made for temporarily moving TBR to facilitate paving operations or contractor access.
11. The Contractor shall provide notification to the Statewide Traffic Management Center (515-237-3300) immediately prior to deployment and upon removal of lane closures. If a planned full closure or lane closure does not occur at the scheduled time immediately contact the Statewide Traffic Management Center.
12. PDMS shall be fully integrated with the Statewide Traffic Management Center system and deployed 3 days prior to any overnight closures of ramps or interstate mainline. All PDMS units shall be furnished, maintained and removed by the Contractor. The Contractor shall coordinate with the Engineer to determine appropriate locations and messaging.
13. The Contractor shall coordinate traffic control with other projects as described in Tab 111-01.
14. The Contractor shall provide, install, maintain, and remove traffic control for detours. Refer to the detour maps provided on the J-sheets for route and sign location details. Existing alternate route signs that conflict with active detours shall be covered by the Contractor for the duration of the detour.

COORDINATED OPERATIONS

111-01
04-17-12

Other work in progress during the same period of time will include the construction of the projects listed. Coordinate operations with those of other contractors working within the same area.

| Project | Type of Work |
|-----------------------------|---|
| PW0580 | City of Bettendorf Pedestrian Bridge |
| IM-NHS-080-8(358)300--03-82 | Traffic Signs |
| IM-NHS-080-8(359)300--03-82 | Lighting |
| IM-NHS-080-8(360)300--03-82 | Bridge Replacement - PPCB |
| IM-NHS-080-8(361)300--03-82 | RCB Culvert Ext. - Triple Box |
| ITS-080-8(371)300--25-82 | ITS Infrastructure |
| IM-NHS-080-8(373)300--03-82 | Traffic Signals |
| IMX-080-8(304)293--02-82 | HMA Resurfacing |
| MPIN-080-6(723)278--0N-82 | PCC Patching |
| MPIN-080-6(724)303--0N-82 | HMA Patching |
| ITS-080-8(370)300--25-82 | ITS Infrastructure |
| I-80 Scott County | 2026 PCC Patching |

511 TRAVEL RESTRICTIONS

108-25
10-21-14

| Route | Direction | County | Location Description | Feature Crossed | Object Type | Maint. Bridge No., Structure ID, or FHWA No. | Type of Restriction | Existing Measurement | Construction Measurement | Construction Measurement as Signed | Projected As Built Measurement | Remarks |
|-------|-----------|--------|--|-----------------|-------------|--|---------------------|----------------------|--------------------------|------------------------------------|--------------------------------|---------|
| I-80 | EB | Scott | 1 mi W of Middle Rd to 1 mi E of Middle Rd in Bettendorf | Middle Road | Bridge | | Vertical | 14.83 ft. | | | | |
| I-80 | WB | Scott | 1 mi W of Middle Rd to 1 mi E of Middle Rd in Bettendorf | Middle Road | Bridge | | Vertical | 14.83 ft. | | | | |

STAGING NOTES

108-26A
08-01-08

REFER TO STAGING SCROLLS FOR ADDITIONAL INFORMATION

***** Stage 1A ***** 2025 FALL

Traffic:
Maintain traffic in existing conditions on I-80 EB, I-80 WB, all ramps and loops, and Middle Road.

- Construction:
- Pipe Culverts
 - Install and extend culverts impacted by mainline, ramp, side road and detour grading
 - RCB
 - Extend RCB I-80 Sta. 1249+51 Right
 - Extend RCB I-80 Sta. 1253+25 Right
 - Spencer Creek
 - Realign existing Spencer Creek west of Middle Road
 - I-80 EB
 - Grade and pave I-80 EB median shoulder strengthening and detour pavement
 - Grade and pave I-80 EB outside shoulder pavement at Ramp D slip ramp connection
 - Ramp B
 - Grade proposed Ramp B to the east and west of existing Loop D.
 - Ramp C
 - Grade proposed Ramp C
 - Ramp D
 - Grade Ramp D and acceleration lane to I-80 EB
 - Pave Ramp D from Middle Road to I-80 detour connection
 - Grade and pave slip ramp detour connection to I-80 EB
 - Middle Road
 - Grade NB lanes from BOP to Ramp D
 - Install storm sewer for NB from BOP thru Ramp D
 - Use temporary covers on intakes
 - Pave Middle Road at Ramp D returns
 - Grade and pave temporary connection to Middle Road
 - Grade and surface south half of farm entrance

***** Stage 1B ***** 2025-2026 WINTER

Traffic:
Maintain traffic on I-80 EB and I-80 WB existing lanes
Maintain traffic on existing Ramps A and B, and Loop C
Close existing Loop D
Open proposed Ramp D with slip ramp connection to I-80 EB
Maintain traffic on Middle Road existing lanes

- Construction
- Bridge
 - Remove outside portion of existing I-80 EB bridge
 - Construct substructure of outside portion of I-80 EB bridge
 - Loop D
 - Remove existing Loop D

***** Stage 2A ***** 2026 SPRING

Traffic:
Shift traffic to median detour pavements for I-80 EB
Maintain traffic on I-80 WB existing lanes
Maintain traffic on existing Ramp A, Ramp B, and Loop C
Close Ramp D
Use Detours
Maintain traffic on Middle Road existing lanes

- Construction
- Bridge
 - Construct remaining outside portion of I-80 EB bridge
 - I-80 EB
 - Grade and pave Ramp B deceleration lane and temporary taper pavement
 - Install temporary shoring near Ramp D gore
 - Pave outside and acceleration lanes for Ramp D
 - Pave outside detour pavement along acceleration lane for Ramp D
 - Ramp B
 - Grade and pave detour pavement
 - Ramp D
 - Remove slip ramp detour connection to I-80 EB
 - Pave remaining portion of Ramp D to I-80 EB

***** Stage 2A-2 ***** 2026 EARLY SUMMER

Traffic:
Maintain traffic on I-80 EB on median detour pavement
Maintain traffic on I-80 WB existing lanes
Maintain traffic on existing Ramp A and Loop C
Shift traffic on Ramp B to Ramp B detour pavement
Open traffic to Ramp D on final ramp pavement
Close Middle Road from Sta. 234+00 to Sta. 236+00
Use Detours
Maintain traffic on Middle Road north and south of closure area

- Construction
- RCB and Sanitary Sewer

STAGING NOTES

108-26A
08-01-08

- Construct RCB on Middle Road north of Ramp A
- Construct Sanitary Sewer north of RCB
- Bridge
 - Finish constructing outside portion of I-80 EB bridge
- I-80 EB
 - Install temporary shoring along I-80 EB
 - Grade and pave remaining portion of outside lanes of I-80 EB
 - Pave temporary west connection of I-80 EB outside lanes
- Ramp B
 - Grade and pave remaining portion of Ramp B
 - Pave temporary connection to Middle Road
- Middle Road
 - Install storm sewer for SB under Ramp B intersection
 - Use temporary covers on intakes

***** Stage 2B ***** 2026 Late SUMMER and FALL

Traffic:
Shift traffic on I-80 EB to outside lanes and detour pavement
Maintain traffic on I-80 WB existing lanes
Maintain traffic on existing Ramp A and Loop C
Open traffic to Ramp B on final ramp pavement
Maintain traffic on Ramp D
Open Middle Road existing lanes

- Construction
- RCB
 - Extend RCB I-80 Sta. 1249+51 Left
 - Extend RCB I-80 Sta. 1253+25 Left
 - Bridge
 - Remove median portion of existing I-80 EB bridge
 - Construct median portion of I-80 EB bridge
 - I-80 EB
 - Grade and pave median lanes of I-80 EB
 - Grade and pave median detour pavement for crossovers
 - Grade and pave median detour pavement for temporary Ramp A deceleration lane
 - Grade and pave median detour pavement for temporary Ramp C acceleration lane
 - Ramp A
 - Grade and pave detour pavement for I-80 WB connection to existing Ramp A
 - Ramp B
 - Remove old Ramp B and detour pavements
 - Ramp C
 - Pave Ramp C
 - Pave temporary connection to Middle Road

***** Stage 2C ***** 2026-2027 WINTER TRAFFIC CONDITIONS

Traffic:
Shift traffic on I-80 EB to outside lanes and detour pavement
Maintain traffic on I-80 WB existing lanes
Maintain traffic on existing Ramp A and Loop C
Maintain traffic on Ramp B and Ramp D
Maintain traffic on Middle Road existing lanes

***** Stage 3A ***** 2027 SPRING

Traffic:
Shift traffic on I-80 WB to head-to-head with I-80 EB
Maintain traffic on I-80 EB outside lanes
Shift traffic on Ramp A to detour exit lane
Maintain traffic on Ramp B and Ramp D
Close Loop C
Use Detours
Maintain traffic on Middle Road existing lanes
Some night time closures on Middle Road for bridge removal and setting beams

- Construction
- Bridge
 - Remove existing I-80 WB bridge
 - Construct new I-80 WB bridge
 - I-80 WB
 - Grade and pave I-80 WB west of bridge
 - Grade and pave outside lanes at Ramp A exit
 - Grade and pave temporary widening east of Ramp A exit
 - Grade and pave detour pavement crossover for Ramp C in median
 - Ramp A
 - Grade and pave temporary widening near taper
 - Loop C
 - Remove existing Loop C

108-26A
08-01-08

STAGING NOTES

***** Stage 3B ***** 2027 early SUMMER

Traffic
 Maintain traffic on I-80 in head to head condition
 Shift traffic on Ramp A to I-80 EB temporary extended exit lane
 Maintain traffic on Ramp B and Ramp D
 Open Ramp C with temporary crossover in median
 Maintain traffic on Middle Road existing lanes

Construction
 I-80 WB
 - Grade and pave I-80 WB east of bridge
 - Remove temporary Ramp A crossover
 Ramp A
 - Remove Ramp A detour pavement
 - Grade and pave Ramp A
 Middle Road
 - Pave NB lanes from Sta. 216+50 to Ramp D
 - Grade and pave NB lanes from Ramp D to Ramp A
 - Pave temporary connection to Ramp A

***** Stage 3C ***** 2027 SUMMER

Traffic
 Shift traffic on I-80 EB and WB to final operating conditions
 Open traffic to Ramp A on final ramp pavement
 Maintain traffic on Ramp B and Ramp DE
 Shift traffic on Ramp C to final entrance ramp configuration
 Close Middle Road north of Ramp A; maintain access to farm north of Ramp A
 - Use detour
 Maintain traffic on Middle Road existing lanes from Ramp A south

Construction
 I-80 EB and WB
 - Remove temporary detour pavements and grade to final conditions
 Ramp A
 - Remove existing Ramp A
 Middle Road
 - Grade and pave NB lanes north of Ramp A
 - Grade and pave SB lanes north of Sta. 237+50
 - Grade and surface farm entrance
 - Grade and pave temporary pavement for temporary south connections to existing Middle Road

***** Stage 3D ***** 2027 late SUMMER and FALL

Traffic
 Maintain traffic on I-80 EB and WB in final operating conditions
 Maintain traffic on Ramp A, Ramp B, Ramp C, and Ramp D in final operating conditions
 Open traffic on Middle Road to head-to-head condition on NB utilizing a shifts from Sta. 211+00 to 220+00

Construction
 Ramp B
 - Construct detour pavements for temporary connections at Middle Road
 Middle Road
 - Grade and pave SB lanes from Sta. 219+00 to Sta. 237+50 leaving gaps at ramp intersections
 - Pave NB lanes final south connection

***** Stage 3E ***** 2027 FALL

Traffic
 Maintain traffic on I-80 EB and WB in final operating conditions
 Maintain traffic on Ramp A, Ramp C, and Ramp D in final operating conditions
 Shift traffic for Ramp B onto temporary pavement at Middle Road intersection
 Shift traffic on Middle Road to head-to-head condition on NB

Construction
 Middle Road
 - Grade and pave SB lanes final south connection
 - Pave final intersection connections at Ramp B and Ramp C

***** Stage 3F ***** 2027 FALL (cont'd)

Traffic
 Maintain traffic on I-80 EB and WB in final operating conditions
 Maintain traffic on Ramp A, Ramp C, and Ramp D in final operating conditions
 Shift traffic for Ramp B into final operation conditions
 Shift traffic on Middle Road to final operation conditions

Construction
 Middle Road
 - Remove remaining temporary pavements
 - Finish remaining Middle Road median curb and shaping

| | | | | | | | | |
|----------|---------|-------------|------------------------|--------------|----------------|-----------------------------|--------------|-----|
| FILE NO. | ENGLISH | DESIGN TEAM | HOLST\TAMRAKAR\BENNETT | SCOTT COUNTY | PROJECT NUMBER | IM-NHS-080-8(357)300--03-82 | SHEET NUMBER | J.3 |
|----------|---------|-------------|------------------------|--------------|----------------|-----------------------------|--------------|-----|

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COUNCIL LETTER

MEETING DATE: June 3, 2025
REQUESTED BY: Mark Hunt
Community Development Director



Item Title

Resolution approving an appeal to the offer price for a home (1112 Parkway Drive) as a part of the Flood Grant Buyout Program (Sub-Award Agreement No. DR-4557-0045).

Explanation

The City was awarded funding from the Iowa Homeland Security and Emergency Management Division and the Federal Emergency Management Agency to be used to purchase real estate located within the Duck Creek flood plain. The purchased homes would then be demolished, leaving the area as greenspace.

An offer of \$133,000 was made to Karen Hayes for her home located at 1112 Parkway Drive based on an appraisal commissioned by the City in July 2021 (See 7/27/21 Appraisal – Attachment A). Subsequent to that offer, the homeowner provided an appraisal of her home showing a value of \$182,500 (See 5/19/25 Appraisal – Attachment B). Hayes has submitted an appeal of the offer price (See Hayes appeal – Attachment C.)

Staff recommends that the City Council approve the appeal of the offer price for 1112 Parkway Drive.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List attachments

Resolution; (A) 7/27/21 Appraisal; (B) 5/19/25 Appraisal; (C) Hayes appeal

**RESOLUTION APPROVING AN APPEAL TO THE OFFER PRICE FOR A HOME
LOCATED AT 1112 PARKWAY DRIVE
LOT 11, HAWTHORNE HILLS EIGHTH ADDITION
AS A PART OF THE FLOOD GRANT BUYOUT PROGRAM
(DR-4557-0045)**

WHEREAS, the City of Bettendorf, Iowa (hereinafter called "the Subgrantee"), County of Scott, was approved for a grant award from the Iowa Homeland Security and Emergency Management Division and the Federal Emergency Management Agency for funding from the Hazard Mitigation Grant Program to purchase real estate within the Duck Creek Floodplain of Bettendorf, Iowa, and

WHEREAS, the Subgrantee has adopted an Administrative Plan for said grant that details various policies and procedures relative to the grant including appeals to the offer price for real estate purchased under the grant, and

WHEREAS, the real estate known as 1112 Parkway Drive and legally described as Lot 11, Hawthorne Hills Eighth Addition to the City of Bettendorf, Scott County, Iowa (hereinafter called "the Property"), was approved to be purchased under said grant, and

WHEREAS, Karen Hayes is the owner of the Property, and

WHEREAS, the Subgrantee offered Hayes \$133,000 for the Property based on an appraisal commissioned by the City in July 2021, and

WHEREAS, Hayes, at her own expense, provided the Subgrantee an appraisal of the Property completed in May 2025 showing a value of \$182,500, and

WHEREAS, the Subgrantee has received and reviewed an appeal to its offer price for the Property.

NOW, THEREFORE, BE IT RESOLVED, that the Subgrantee approves the purchase price of \$182,500 for the real estate located at 1112 Parkway Drive (Lot 11, Hawthorne Hills Eighth Addition) to the City of Bettendorf, Scott County, Iowa.

PASSED, APPROVED, AND ADOPTED this 3rd day of June, 2025.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

APPRAISAL OF REAL PROPERTY



LOCATED AT

1112 Parkway Dr
Bettendorf, IA 52722
HAWTHORNE HILLS 8TH ADD Lot: 011 HAWTHORNE HILLS 8TH ADD

FOR

City of Bettendorf
4403 Devils Glen Road
Bettendorf, IA 52722

OPINION OF VALUE

133,000

AS OF

07/27/2021

BY

Josh Binneboese
DataSource Appraisal
630 River Dr, Suite 201
Bettendorf, IA 52722
(563) 355-9310
joshb@datasourceappraisal.com

DataSource Appraisal
630 River Dr, Suite 201
Bettendorf, IA 52722
(563) 355-9310

08/30/2021

City of Bettendorf
4403 Devils Glen Road
Bettendorf, IA 52722

Re: Property: 1112 Parkway Dr
Bettendorf, IA 52722
Borrower: Karen S Hayes
File No.: 082118B1U

Opinion of Value: \$ 133,000
Effective Date: 07/27/2021

In accordance with your request, we have appraised the above referenced property. The report of that appraisal is attached.

The purpose of the appraisal is to develop an opinion of market value for the property described in this appraisal report, as improved, in unencumbered fee simple title of ownership.

This report is based on a physical analysis of the site and improvements, a locational analysis of the neighborhood and city, and an economic analysis of the market for properties such as the subject. The appraisal was developed and the report was prepared in accordance with the Uniform Standards of Professional Appraisal Practice.

The opinion of value reported above is as of the stated effective date and is contingent upon the certification and limiting conditions attached.

It has been a pleasure to assist you. Please do not hesitate to contact me or any of my staff if we can be of additional service to you.

Sincerely,



Josh Binneboese
License or Certification #: CR03117
State: IA Expires: 06/30/2022
joshb@datasourceappraisal.com

Uniform Residential Appraisal Report

File # 082118B1U

The purpose of this summary appraisal report is to provide the lender/client with an accurate, and adequately supported, opinion of the market value of the subject property.

| | | | | | | | | | |
|---------|--|---|------------------------|---|-------------------------------------|---------|--|-------|---|
| SUBJECT | Property Address | 1112 Parkway Dr | City | Bettendorf | State | IA | Zip Code | 52722 | |
| | Borrower | Karen S Hayes | Owner of Public Record | Hayes, Karen S | County | Scott | | | |
| | Legal Description | HAWTHORNE HILLS 8TH ADD Lot: 011 HAWTHORNE HILLS 8TH ADD | | | | | | | |
| | Assessor's Parcel # | 842023411 | Tax Year | 2020 | R.E. Taxes \$ | 2,236 | | | |
| | Neighborhood Name | Hawthorne Hills | Map Reference | 19340 | Census Tract | 0135.00 | | | |
| | Occupant | <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Vacant | Special Assessments \$ | 0 | <input type="checkbox"/> PUD HOA \$ | 0 | <input type="checkbox"/> per year <input type="checkbox"/> per month | | |
| | Property Rights Appraised | <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Other (describe) | | | | | | | |
| | Assignment Type | <input type="checkbox"/> Purchase Transaction <input type="checkbox"/> Refinance Transaction <input checked="" type="checkbox"/> Other (describe) to determine market value of the subject property | | | | | | | |
| | Lender/Client | City of Bettendorf | Address | 4403 Devils Glen Road, Bettendorf, IA 52722 | | | | | |
| | Is the subject property currently offered for sale or has it been offered for sale in the twelve months prior to the effective date of this appraisal? | | | | | | | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

| | | | | | |
|----------|---|------------------|--|--|--|
| CONTRACT | Report data source(s) used, offering price(s), and date(s). | | QCMLS | | |
| | I <input type="checkbox"/> did <input type="checkbox"/> did not analyze the contract for sale for the subject purchase transaction. Explain the results of the analysis of the contract for sale or why the analysis was not performed. | | | | |
| | Contract Price \$ | Date of Contract | Is the property seller the owner of public record? | <input type="checkbox"/> Yes <input type="checkbox"/> No | Data Source(s) |
| | Is there any financial assistance (loan charges, sale concessions, gift or downpayment assistance, etc.) to be paid by any party on behalf of the borrower? | | | | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Note: Race and the racial composition of the neighborhood are not appraisal factors.

| Neighborhood Characteristics | | One-Unit Housing Trends | | One-Unit Housing | | Present Land Use % | |
|--|---|---|---|------------------|----------|--------------------|------|
| Location | <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Rural | Property Values | <input type="checkbox"/> Increasing <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Declining | PRICE | AGE | One-Unit | 75 % |
| Built-Up | <input checked="" type="checkbox"/> Over 75% <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25% | Demand/Supply | <input checked="" type="checkbox"/> Shortage <input type="checkbox"/> In Balance <input type="checkbox"/> Over Supply | \$ (000) | (yrs) | 2-4 Unit | 5 % |
| Growth | <input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow | Marketing Time | <input checked="" type="checkbox"/> Under 3 mths <input type="checkbox"/> 3-6 mths <input type="checkbox"/> Over 6 mths | 52 | Low 41 | Multi-Family | 5 % |
| Neighborhood Boundaries | | North to Spruce Hills, south to Lincoln Rd, west to I-74 and east to 18th St. | | 300 | High 71 | Commercial | 10 % |
| Other areas may also compete. "Other" land is vacant, parks, schools, recreation, etc. | | | | 170 | Pred. 57 | Other | 5 % |

Neighborhood Description: The subject is located in a residential neighborhood of Bettendorf. Homes mostly show an average to above average level of exterior maintenance. Due to the layout of the neighborhood, traffic is minimal. All amenities (school, shopping, employment, recreation) are located in close proximity. Multi-family uses are scattered throughout, with commercial uses on the main thoroughfares.

Market Conditions (including support for the above conclusions): Properties in the area sold in an average of 10 days last year, at 100% of list price. The median and average sales prices for last year vs. the prior year, as well as re-sales of the same properties, indicate stable prices. The number of actives in the neighborhood indicates a 0.3 month supply. Seller concessions are common in this market area.

| | | | | | | | | | |
|------|--|--|------------------------------------|---|-------------------------------------|------------------------------|---------------|-------------------------------------|--|
| SITE | Dimensions | 68 x 100 | Area | 6800 sf | Shape | Rectangular | View | N;Res; | |
| | Specific Zoning Classification | R2 | Zoning Description | Single Family Residence District | | | | | |
| | Zoning Compliance | <input type="checkbox"/> Legal <input checked="" type="checkbox"/> Legal Nonconforming (Grandfathered Use) | <input type="checkbox"/> No Zoning | <input type="checkbox"/> Illegal (describe) | | | | | |
| | Is the highest and best use of subject property as improved (or as proposed per plans and specifications) the present use? | | | | | | | | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe |
| | Utilities | Public | Other (describe) | Public | Other (describe) | Off-site Improvements - Type | Public | Private | |
| | Electricity | <input checked="" type="checkbox"/> | | Water | <input checked="" type="checkbox"/> | Street | Concrete | <input checked="" type="checkbox"/> | |
| | Gas | <input checked="" type="checkbox"/> | | Sanitary Sewer | <input checked="" type="checkbox"/> | Alley | None | <input type="checkbox"/> | |
| | FEMA Special Flood Hazard Area | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | FEMA Flood Zone | AE | FEMA Map # | 19163C0367G | FEMA Map Date | 03/23/2021 | |
| | Are the utilities and off-site improvements typical for the market area? | | | | | | | | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe |
| | Are there any adverse site conditions or external factors (easements, encroachments, environmental conditions, land uses, etc.)? | | | | | | | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe |

A survey was not performed, nor was one provided. The site is subject to normal utility easements, which do not have a negative affect on value. There were no apparent adverse easements, encroachments, etc. visible on the date of inspection. I did not search land records for recorded easements or encroachments.

| General Description | Foundation | Exterior Description | materials/condition | Interior | materials/condition |
|--|--|--|----------------------|--|--|
| Units <input checked="" type="checkbox"/> One <input type="checkbox"/> One with Accessory Unit | <input type="checkbox"/> Concrete Slab <input type="checkbox"/> Crawl Space | Foundation Walls | Poured conc/avg | Floors | Crpt,wd,vnyl/avg |
| # of Stories | 2 | Exterior Walls | Composite/avg | Walls | Drywall/avg |
| Type <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/> S-Det./End Unit | Basement Area | Roof Surface | Comp shingle/avg+ | Trim/Finish | Stained wood/avg |
| <input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Under Const. | Basement Finish | Gutters & Downspouts | Aluminum/avg+ | Bath Floor | Vinyl/avg |
| Design (Style) | Quad level | Window Type | Dbl hung/avg | Bath Wainscot | Fiberglass/avg |
| Year Built | 1964 | Evidence of <input type="checkbox"/> Infestation | Storm Sash/Insulated | Car Storage | <input type="checkbox"/> None |
| Effective Age (Yrs) | 18 | <input type="checkbox"/> Dampness <input type="checkbox"/> Settlement | Screens | Vinyl/avg | <input checked="" type="checkbox"/> Driveway # of Cars 2 |
| Attic | <input type="checkbox"/> None | Heating <input checked="" type="checkbox"/> FWA <input type="checkbox"/> HWBB <input type="checkbox"/> Radiant | Amenities | Woodstove(s) # | 0 |
| <input type="checkbox"/> Drop Stair <input type="checkbox"/> Stairs | <input type="checkbox"/> Other | Fuel | Gas | Driveway Surface | Concrete |
| <input type="checkbox"/> Floor <input checked="" type="checkbox"/> Scuttle | Cooling <input checked="" type="checkbox"/> Central Air Conditioning | <input checked="" type="checkbox"/> Fireplace(s) # | 1 | <input checked="" type="checkbox"/> Garage # of Cars 1 | |
| <input type="checkbox"/> Finished <input type="checkbox"/> Heated | <input type="checkbox"/> Individual <input type="checkbox"/> Other | <input checked="" type="checkbox"/> Patio/Deck | Pat,dk | <input type="checkbox"/> Carport # of Cars 0 | |
| Appliances | <input type="checkbox"/> Refrigerator <input checked="" type="checkbox"/> Range/Oven <input checked="" type="checkbox"/> Dishwasher <input checked="" type="checkbox"/> Disposal <input type="checkbox"/> Microwave <input type="checkbox"/> Washer/Dryer <input checked="" type="checkbox"/> Other (describe) | Pool | None | Att. | <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Built-in |
| Finished area above grade contains: 5 Rooms 3 Bedrooms 1.0 Bath(s) 1,100 Square Feet of Gross Living Area Above Grade | | | | | |
| Additional features (special energy efficient items, etc.): None known. The appraiser notes a fridge was also present and is considered personal property. | | | | | |

| | | | | | |
|--------------|---|--|--|--|--|
| IMPROVEMENTS | Describe the condition of the property (including needed repairs, deterioration, renovations, remodeling, etc.). | | C4;No updates in the prior 15 years;The overall condition of the subject property is average, with no deferred maintenance noted. Physical depreciation reflects the age of the subject and overall wear and tear. No functional or external depreciation was noted. Basement finish consists of a rec room, bedroom and .75 bathroom. Recent updates per owner; gutters, soffit, furnace, central air, paint and some flooring. | | |
| | Are there any physical deficiencies or adverse conditions that affect the livability, soundness, or structural integrity of the property? | | | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe |
| | While none were noted, such items are generally beyond the expertise of the appraiser. Issues of soundness and structural integrity are often related to areas that are hidden from the appraiser's view. See limiting condition #5 and comments on page three related to appraiser's definition of "complete visual inspection". Subject was built prior to 1978 and may contain lead based paint. | | | | |
| | Does the property generally conform to the neighborhood (functional utility, style, condition, use, construction, etc.)? | | | | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe |

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| | |
|---|---|
| There are 0 comparable properties currently offered for sale in the subject neighborhood ranging in price from \$ 0 to \$ 0 | |
| There are 10 comparable sales in the subject neighborhood within the past twelve months ranging in sale price from \$ 118,000 to \$ 190,000 | |
| FEATURE | SUBJECT |
| Address | 1112 Parkway Dr Bettendorf, IA 52722 |
| Proximity to Subject | 0.19 miles NE |
| Sale Price | \$ 153,900 |
| Sale Price/Gross Liv. Area | \$ 121.76 sq.ft. |
| Data Source(s) | QCMLS#4216826;DOM 19 |
| Verification Source(s) | Assessor's Rcrds,Ext Observatn |
| VALUE ADJUSTMENTS | DESCRIPTION |
| Sales or Financing Concessions | ArmLth Conv;3600 -3,600 |
| Date of Sale/Time | s01/21;c11/20 |
| Location | N;Res; |
| Leasehold/Fee Simple | Fee Simple |
| Site | 6800 sf |
| View | N;Res; |
| Design (Style) | DT2;Quad level |
| Quality of Construction | Q4 |
| Actual Age | 57 |
| Condition | C4 |
| Above Grade | Total Bdrms. Baths |
| Room Count | 5 3 1.0 |
| Gross Living Area | 1,100 sq.ft. |
| Basement & Finished Rooms Below Grade | 1067sf534sfin 1rr1br1.0ba0o |
| Functional Utility | Average |
| Heating/Cooling | F.Air/CAC |
| Energy Efficient Items | None known |
| Garage/Carport | 1gd2dw |
| Porch/Patio/Deck | Deck,patio |
| Total DOM | NA |
| Settlement Date | NA |
| Net Adjustment (Total) | \$ -21,890 |
| Adjusted Sale Price of Comparables | \$ 132,010 |
| I <input checked="" type="checkbox"/> did <input type="checkbox"/> did not research the sale or transfer history of the subject property and comparable sales. If not, explain | |
| My research <input type="checkbox"/> did <input checked="" type="checkbox"/> did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal. | |
| Data Source(s) Assessor's Records | |
| My research <input type="checkbox"/> did <input checked="" type="checkbox"/> did not reveal any prior sales or transfers of the comparable sales for the year prior to the date of sale of the comparable sale. | |
| Data Source(s) Assessor's Records | |
| Report the results of the research and analysis of the prior sale or transfer history of the subject property and comparable sales (report additional prior sales on page 3). | |
| ITEM | SUBJECT |
| Date of Prior Sale/Transfer | |
| Price of Prior Sale/Transfer | |
| Data Source(s) | Assessor's Records |
| Effective Date of Data Source(s) | 08/30/2021 |
| Analysis of prior sale or transfer history of the subject property and comparable sales | |
| There were no sales or transfers for the subject property in the past 3 years. No recent sales or transfers for comps 1-3. | |
| Summary of Sales Comparison Approach | |
| See attached addenda. | |
| Indicated Value by Sales Comparison Approach \$ 133,000 | |
| Indicated Value by: Sales Comparison Approach \$ 133,000 Cost Approach (if developed) \$ 0 Income Approach (if developed) \$ 0 | |
| The sales comparison approach is deemed to be the best indicator of residential value in the area and is, therefore, the basis of this report. The cost approach is most reliable when the improvements are new or nearly new. Due to the unreliability of estimating accrued depreciation, this approach to value has not been used. The income approach was deemed inapplicable due to a lack of single family rentals. | |
| This appraisal is made <input checked="" type="checkbox"/> "as is", <input type="checkbox"/> subject to completion per plans and specifications on the basis of a hypothetical condition that the improvements have been completed, <input type="checkbox"/> subject to the following repairs or alterations on the basis of a hypothetical condition that the repairs or alterations have been completed, or <input type="checkbox"/> subject to the following required inspection based on the extraordinary assumption that the condition or deficiency does not require alteration or repair: | |
| Based on a complete visual inspection of the interior and exterior areas of the subject property, defined scope of work, statement of assumptions and limiting conditions, and appraiser's certification, my (our) opinion of the market value, as defined, of the real property that is the subject of this report is \$ 133,000, as of 07/27/2021, which is the date of inspection and the effective date of this appraisal. | |

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| | | |
|--|---|--|
| ADDITIONAL COMMENTS | SOURCE OF DEFINITION OF MARKET VALUE: | |
| | The definition of market value noted in report is from regulations published by federal regulatory agencies pursuant to Title XI of the Financial Institutions Reform, Recovery, and Enforcement Act (FIRREA) of 1989 between July 5, 1990 and August 24, 1990, by the Federal Reserve System (FRS), National Credit Union Administration (NCUA), Federal Deposit Insurance Corporation (FDIC), the Office of Thrift Supervision (OTS), and the Office of Comptroller of the Currency (OCC). This definition is also referenced in regulations jointly published by the OCC, OTS, FRS on June 7, 1994, and in the Interagency Appraisal and Evaluation Guideline, dated October 27, 1994. | |
| | The Intended User of this appraisal report is the Lender/Client. The Intended Use is to evaluate the property that is the subject of this appraisal for a mortgage finance transaction, subject to the stated Scope of Work, purpose of the appraisal, reporting requirements of this appraisal report form, and Definition of Market Value. | |
| | The purpose and intended use is to evaluate the property that is the subject of this appraisal for a mortgage finance transaction, subject to the stated scope of work, purpose of the appraisal, reporting requirements of the appraisal report form, and definition of market value. | |
| | At the request of the client, this appraisal report has been prepared in compliance with the Uniform Appraisal Dataset (UAD) from Fannie Mae & Freddie Mac. The UAD requires the appraiser to use standardized responses that include specific formats, definitions, abbreviations, and acronyms. | |
| | Pursuant to the Conduct Section of the Ethics Rule of USPAP, If known prior to accepting an assignment, and/or if discovered at any time during the assignment, an appraiser must disclose to the client, and in the subsequent report certification any services regarding the subject property performed by the appraiser within the three year period immediately preceding acceptance of the assignment, as an appraiser or in any other capacity. | |
| | - I have performed no services, as an appraiser, or in any other capacity, regarding the property that is the subject of this report, within the three year period immediately preceding acceptance of this assignment. | |
| | EXPOSURE TIME: estimated length of time that the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal. | |
| | Exposure time for the subject property would be approximately 0-60 days. Exposure time is a retrospective opinion based on an analysis of past events assuming a competitive and open market. | |
| | I have not completed a home inspection, and any questions related to the adequacy of mechanicals should be addressed to a qualified inspector or contractor. | |
| Highest and Best use: The subject is zoned for residential use and residential is an allowable use. The structure provides a positive return to the land that is higher than the land alone. Therefore the subjects current residential use is its highest and best use. | | |
| This report is an Appraisal Report. | | |
| COST APPROACH | COST APPROACH TO VALUE (not required by Fannie Mae) | |
| | Provide adequate information for the lender/client to replicate the below cost figures and calculations. | |
| | Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value) | |
| | ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW | |
| | OPINION OF SITE VALUE -----=\$ | |
| | Source of cost data DWELLING Sq.Ft. @ \$ -----=\$ | |
| | Quality rating from cost service Effective date of cost data Sq.Ft. @ \$ -----=\$ | |
| | Comments on Cost Approach (gross living area calculations, depreciation, etc.) -----=\$ | |
| | The cost approach was undeveloped due to the subjects age. The cost approach is best applicable for new properties with limited depreciation. | |
| | Older properties like the subject, that require an estimate of depreciation, lack reliability and therefore is not completed in this report. | |
| Garage/Carport Sq.Ft. @ \$ -----=\$ | | |
| Total Estimate of Cost-New -----=\$ | | |
| Less Physical Functional External | | |
| Depreciation -----=\$() | | |
| Depreciated Cost of Improvements -----=\$ | | |
| "As-is" Value of Site Improvements -----=\$ | | |
| Estimated Remaining Economic Life (HUD and VA only) Years | | |
| INDICATED VALUE BY COST APPROACH -----=\$ 0 | | |
| INCOME | INCOME APPROACH TO VALUE (not required by Fannie Mae) | |
| | Estimated Monthly Market Rent \$ X Gross Rent Multiplier = \$ Indicated Value by Income Approach | |
| | Summary of Income Approach (including support for market rent and GRM) | |
| PUD INFORMATION | PROJECT INFORMATION FOR PUDs (if applicable) | |
| | Is the developer/builder in control of the Homeowners' Association (HOA)? <input type="checkbox"/> Yes <input type="checkbox"/> No Unit type(s) <input type="checkbox"/> Detached <input type="checkbox"/> Attached | |
| | Provide the following information for PUDs ONLY if the developer/builder is in control of the HOA and the subject property is an attached dwelling unit. | |
| | Legal Name of Project | |
| | Total number of phases Total number of units Total number of units sold | |
| | Total number of units rented Total number of units for sale Data source(s) | |
| | Was the project created by the conversion of existing building(s) into a PUD? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, date of conversion. | |
| | Does the project contain any multi-dwelling units? <input type="checkbox"/> Yes <input type="checkbox"/> No Data Source | |
| | Are the units, common elements, and recreation facilities complete? <input type="checkbox"/> Yes <input type="checkbox"/> No If No, describe the status of completion. | |
| | Are the common elements leased to or by the Homeowners' Association? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, describe the rental terms and options. | |
| Describe common elements and recreational facilities. | | |

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This report form is designed to report an appraisal of a one-unit property or a one-unit property with an accessory unit; including a unit in a planned unit development (PUD). This report form is not designed to report an appraisal of a manufactured home or a unit in a condominium or cooperative project.

This appraisal report is subject to the following scope of work, intended use, intended user, definition of market value, statement of assumptions and limiting conditions, and certifications. Modifications, additions, or deletions to the intended use, intended user, definition of market value, or assumptions and limiting conditions are not permitted. The appraiser may expand the scope of work to include any additional research or analysis necessary based on the complexity of this appraisal assignment. Modifications or deletions to the certifications are also not permitted. However, additional certifications that do not constitute material alterations to this appraisal report, such as those required by law or those related to the appraiser's continuing education or membership in an appraisal organization, are permitted.

SCOPE OF WORK: The scope of work for this appraisal is defined by the complexity of this appraisal assignment and the reporting requirements of this appraisal report form, including the following definition of market value, statement of assumptions and limiting conditions, and certifications. The appraiser must, at a minimum: (1) perform a complete visual inspection of the interior and exterior areas of the subject property, (2) inspect the neighborhood, (3) inspect each of the comparable sales from at least the street, (4) research, verify, and analyze data from reliable public and/or private sources, and (5) report his or her analysis, opinions, and conclusions in this appraisal report.

INTENDED USE: The intended use of this appraisal report is for the lender/client to evaluate the property that is the subject of this appraisal for a mortgage finance transaction.

INTENDED USER: The intended user of this appraisal report is the lender/client.

DEFINITION OF MARKET VALUE: The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller, each acting prudently, knowledgeably and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby: (1) buyer and seller are typically motivated; (2) both parties are well informed or well advised, and each acting in what he or she considers his or her own best interest; (3) a reasonable time is allowed for exposure in the open market; (4) payment is made in terms of cash in U. S. dollars or in terms of financial arrangements comparable thereto; and (5) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions* granted by anyone associated with the sale.

*Adjustments to the comparables must be made for special or creative financing or sales concessions. No adjustments are necessary for those costs which are normally paid by sellers as a result of tradition or law in a market area; these costs are readily identifiable since the seller pays these costs in virtually all sales transactions. Special or creative financing adjustments can be made to the comparable property by comparisons to financing terms offered by a third party institutional lender that is not already involved in the property or transaction. Any adjustment should not be calculated on a mechanical dollar for dollar cost of the financing or concession but the dollar amount of any adjustment should approximate the market's reaction to the financing or concessions based on the appraiser's judgment.

STATEMENT OF ASSUMPTIONS AND LIMITING CONDITIONS: The appraiser's certification in this report is subject to the following assumptions and limiting conditions:

1. The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it, except for information that he or she became aware of during the research involved in performing this appraisal. The appraiser assumes that the title is good and marketable and will not render any opinions about the title.
2. The appraiser has provided a sketch in this appraisal report to show the approximate dimensions of the improvements. The sketch is included only to assist the reader in visualizing the property and understanding the appraiser's determination of its size.
3. The appraiser has examined the available flood maps that are provided by the Federal Emergency Management Agency (or other data sources) and has noted in this appraisal report whether any portion of the subject site is located in an identified Special Flood Hazard Area. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.
4. The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand, or as otherwise required by law.
5. The appraiser has noted in this appraisal report any adverse conditions (such as needed repairs, deterioration, the presence of hazardous wastes, toxic substances, etc.) observed during the inspection of the subject property or that he or she became aware of during the research involved in performing the appraisal. Unless otherwise stated in this appraisal report, the appraiser has no knowledge of any hidden or unapparent physical deficiencies or adverse conditions of the property (such as, but not limited to, needed repairs, deterioration, the presence of hazardous wastes, toxic substances, adverse environmental conditions, etc.) that would make the property less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied. The appraiser will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because the appraiser is not an expert in the field of environmental hazards, this appraisal report must not be considered as an environmental assessment of the property.
6. The appraiser has based his or her appraisal report and valuation conclusion for an appraisal that is subject to satisfactory completion, repairs, or alterations on the assumption that the completion, repairs, or alterations of the subject property will be performed in a professional manner.

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APPRAISER'S CERTIFICATION: The Appraiser certifies and agrees that:

1. I have, at a minimum, developed and reported this appraisal in accordance with the scope of work requirements stated in this appraisal report.
2. I performed a complete visual inspection of the interior and exterior areas of the subject property. I reported the condition of the improvements in factual, specific terms. I identified and reported the physical deficiencies that could affect the livability, soundness, or structural integrity of the property.
3. I performed this appraisal in accordance with the requirements of the Uniform Standards of Professional Appraisal Practice that were adopted and promulgated by the Appraisal Standards Board of The Appraisal Foundation and that were in place at the time this appraisal report was prepared.
4. I developed my opinion of the market value of the real property that is the subject of this report based on the sales comparison approach to value. I have adequate comparable market data to develop a reliable sales comparison approach for this appraisal assignment. I further certify that I considered the cost and income approaches to value but did not develop them, unless otherwise indicated in this report.
5. I researched, verified, analyzed, and reported on any current agreement for sale for the subject property, any offering for sale of the subject property in the twelve months prior to the effective date of this appraisal, and the prior sales of the subject property for a minimum of three years prior to the effective date of this appraisal, unless otherwise indicated in this report.
6. I researched, verified, analyzed, and reported on the prior sales of the comparable sales for a minimum of one year prior to the date of sale of the comparable sale, unless otherwise indicated in this report.
7. I selected and used comparable sales that are locationally, physically, and functionally the most similar to the subject property.
8. I have not used comparable sales that were the result of combining a land sale with the contract purchase price of a home that has been built or will be built on the land.
9. I have reported adjustments to the comparable sales that reflect the market's reaction to the differences between the subject property and the comparable sales.
10. I verified, from a disinterested source, all information in this report that was provided by parties who have a financial interest in the sale or financing of the subject property.
11. I have knowledge and experience in appraising this type of property in this market area.
12. I am aware of, and have access to, the necessary and appropriate public and private data sources, such as multiple listing services, tax assessment records, public land records and other such data sources for the area in which the property is located.
13. I obtained the information, estimates, and opinions furnished by other parties and expressed in this appraisal report from reliable sources that I believe to be true and correct.
14. I have taken into consideration the factors that have an impact on value with respect to the subject neighborhood, subject property, and the proximity of the subject property to adverse influences in the development of my opinion of market value. I have noted in this appraisal report any adverse conditions (such as, but not limited to, needed repairs, deterioration, the presence of hazardous wastes, toxic substances, adverse environmental conditions, etc.) observed during the inspection of the subject property or that I became aware of during the research involved in performing this appraisal. I have considered these adverse conditions in my analysis of the property value, and have reported on the effect of the conditions on the value and marketability of the subject property.
15. I have not knowingly withheld any significant information from this appraisal report and, to the best of my knowledge, all statements and information in this appraisal report are true and correct.
16. I stated in this appraisal report my own personal, unbiased, and professional analysis, opinions, and conclusions, which are subject only to the assumptions and limiting conditions in this appraisal report.
17. I have no present or prospective interest in the property that is the subject of this report, and I have no present or prospective personal interest or bias with respect to the participants in the transaction. I did not base, either partially or completely, my analysis and/or opinion of market value in this appraisal report on the race, color, religion, sex, age, marital status, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property or of the present owners or occupants of the properties in the vicinity of the subject property or on any other basis prohibited by law.
18. My employment and/or compensation for performing this appraisal or any future or anticipated appraisals was not conditioned on any agreement or understanding, written or otherwise, that I would report (or present analysis supporting) a predetermined specific value, a predetermined minimum value, a range or direction in value, a value that favors the cause of any party, or the attainment of a specific result or occurrence of a specific subsequent event (such as approval of a pending mortgage loan application).
19. I personally prepared all conclusions and opinions about the real estate that were set forth in this appraisal report. If I relied on significant real property appraisal assistance from any individual or individuals in the performance of this appraisal or the preparation of this appraisal report, I have named such individual(s) and disclosed the specific tasks performed in this appraisal report. I certify that any individual so named is qualified to perform the tasks. I have not authorized anyone to make a change to any item in this appraisal report; therefore, any change made to this appraisal is unauthorized and I will take no responsibility for it.
20. I identified the lender/client in this appraisal report who is the individual, organization, or agent for the organization that ordered and will receive this appraisal report.

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21. The lender/client may disclose or distribute this appraisal report to: the borrower; another lender at the request of the borrower; the mortgagee or its successors and assigns; mortgage insurers; government sponsored enterprises; other secondary market participants; data collection or reporting services; professional appraisal organizations; any department, agency, or instrumentality of the United States; and any state, the District of Columbia, or other jurisdictions; without having to obtain the appraiser's or supervisory appraiser's (if applicable) consent. Such consent must be obtained before this appraisal report may be disclosed or distributed to any other party (including, but not limited to, the public through advertising, public relations, news, sales, or other media).

22. I am aware that any disclosure or distribution of this appraisal report by me or the lender/client may be subject to certain laws and regulations. Further, I am also subject to the provisions of the Uniform Standards of Professional Appraisal Practice that pertain to disclosure or distribution by me.

23. The borrower, another lender at the request of the borrower, the mortgagee or its successors and assigns, mortgage insurers, government sponsored enterprises, and other secondary market participants may rely on this appraisal report as part of any mortgage finance transaction that involves any one or more of these parties.


24. If this appraisal report was transmitted as an "electronic record" containing my "electronic signature," as those terms are defined in applicable federal and/or state laws (excluding audio and video recordings), or a facsimile transmission of this appraisal report containing a copy or representation of my signature, the appraisal report shall be as effective, enforceable and valid as if a paper version of this appraisal report were delivered containing my original hand written signature.

25. Any intentional or negligent misrepresentation(s) contained in this appraisal report may result in civil liability and/or criminal penalties including, but not limited to, fine or imprisonment or both under the provisions of Title 18, United States Code, Section 1001, et seq., or similar state laws.

SUPERVISORY APPRAISER'S CERTIFICATION: The Supervisory Appraiser certifies and agrees that:

1. I directly supervised the appraiser for this appraisal assignment, have read the appraisal report, and agree with the appraiser's analysis, opinions, statements, conclusions, and the appraiser's certification.
2. I accept full responsibility for the contents of this appraisal report including, but not limited to, the appraiser's analysis, opinions, statements, conclusions, and the appraiser's certification.
3. The appraiser identified in this appraisal report is either a sub-contractor or an employee of the supervisory appraiser (or the appraisal firm), is qualified to perform this appraisal, and is acceptable to perform this appraisal under the applicable state law.
4. This appraisal report complies with the Uniform Standards of Professional Appraisal Practice that were adopted and promulgated by the Appraisal Standards Board of The Appraisal Foundation and that were in place at the time this appraisal report was prepared.
5. If this appraisal report was transmitted as an "electronic record" containing my "electronic signature," as those terms are defined in applicable federal and/or state laws (excluding audio and video recordings), or a facsimile transmission of this appraisal report containing a copy or representation of my signature, the appraisal report shall be as effective, enforceable and valid as if a paper version of this appraisal report were delivered containing my original hand written signature.

APPRAISER

Signature 
 Name Josh Binneboese
 Company Name DataSource Appraisal
 Company Address 630 River Dr, Suite 201
Bettendorf, IA 52722
 Telephone Number (563) 355-9310
 Email Address joshb@datasourceappraisal.com
 Date of Signature and Report 08/30/2021
 Effective Date of Appraisal 07/27/2021
 State Certification # CR03117
 or State License # _____
 or Other (describe) _____ State # _____
 State IA
 Expiration Date of Certification or License 06/30/2022

ADDRESS OF PROPERTY APPRAISED

1112 Parkway Dr
Bettendorf, IA 52722
 APPRAISED VALUE OF SUBJECT PROPERTY \$ 133,000

LENDER/CLIENT

Name No AMC
 Company Name City of Bettendorf
 Company Address 4403 Devils Glen Road, Bettendorf, IA 52722
 Email Address _____

SUPERVISORY APPRAISER (ONLY IF REQUIRED)

Signature _____
 Name _____
 Company Name _____
 Company Address _____
 Telephone Number _____
 Email Address _____
 Date of Signature _____
 State Certification # _____
 or State License # _____
 State _____
 Expiration Date of Certification or License _____

SUBJECT PROPERTY

- Did not inspect subject property
 Did inspect exterior of subject property from street
 Date of Inspection _____
 Did inspect interior and exterior of subject property
 Date of Inspection _____

COMPARABLE SALES

- Did not inspect exterior of comparable sales from street
 Did inspect exterior of comparable sales from street
 Date of Inspection _____

Uniform Residential Appraisal Report

File # 082118B1U

| FEATURE | SUBJECT | COMPARABLE SALE # 4 | | | COMPARABLE SALE # 5 | | | COMPARABLE SALE # 6 | | |
|---|---|--|--------------------|---|---------------------|---|--------------------|---|--------------------|--|
| Address | 1112 Parkway Dr Bettendorf, IA 52722 | 2613 Holly Dr Bettendorf, IA 52722 | | | | | | | | |
| Proximity to Subject | | 0.15 miles NW | | | | | | | | |
| Sale Price | \$ | \$ 150,000 | | | \$ | | | \$ | | |
| Sale Price/Gross Liv. Area | \$ sq.ft. | \$ 144.23 sq.ft. | | | \$ sq.ft. | | | \$ sq.ft. | | |
| Data Source(s) | | QCMLS#4223754;DOM 4 | | | | | | | | |
| Verification Source(s) | | Assessor's Rcrds, Ext Observatn | | | | | | | | |
| VALUE ADJUSTMENTS | DESCRIPTION | DESCRIPTION | +(-) \$ Adjustment | DESCRIPTION | +(-) \$ Adjustment | DESCRIPTION | +(-) \$ Adjustment | DESCRIPTION | +(-) \$ Adjustment | |
| Sales or Financing Concessions | | Listing | | | | | | | | |
| Date of Sale/Time | | c08/21 | | | | | | | | |
| Location | N;Res; | N;Res; | | | | | | | | |
| Leasehold/Fee Simple | Fee Simple | Fee Simple | | | | | | | | |
| Site | 6800 sf | 6650 sf | 0 | | | | | | | |
| View | N;Res; | N;Res; | | | | | | | | |
| Design (Style) | DT2;Quad level | DT1;Ranch | 0 | | | | | | | |
| Quality of Construction | Q4 | Q4 | | | | | | | | |
| Actual Age | 57 | 60 | 0 | | | | | | | |
| Condition | C4 | C3 | -15,000 | | | | | | | |
| Above Grade | Total Bdrms. Baths | Total Bdrms. Baths | | Total Bdrms. Baths | | Total Bdrms. Baths | | Total Bdrms. Baths | | |
| Room Count | 5 3 1.0 | 5 3 1.0 | | | | | | | | |
| Gross Living Area | 1,100 sq.ft. | 1,040 sq.ft. | 0 | sq.ft. | | sq.ft. | | sq.ft. | | |
| Basement & Finished | 1067sf534sfin | 1040sf0sfin | 0 | | | | | | | |
| Rooms Below Grade | 1rr1br1.0ba0o | | +7,000 | | | | | | | |
| Functional Utility | Average | Average | | | | | | | | |
| Heating/Cooling | F.Air/CAC | F.Air/CAC | | | | | | | | |
| Energy Efficient Items | None known | None known | | | | | | | | |
| Garage/Carport | 1qd2dw | 2gd | -3,000 | | | | | | | |
| Porch/Patio/Deck | Deck,patio | Patio,fence | 0 | | | | | | | |
| Total DOM | NA | 4 | 0 | | | | | | | |
| Settlement Date | NA | LP:SP Adjust | -1,500 | | | | | | | |
| Net Adjustment (Total) | | <input type="checkbox"/> + <input checked="" type="checkbox"/> - | \$ -12,500 | <input type="checkbox"/> + <input type="checkbox"/> - | \$ | <input type="checkbox"/> + <input type="checkbox"/> - | \$ | <input type="checkbox"/> + <input type="checkbox"/> - | \$ | |
| Adjusted Sale Price of Comparables | | Net Adj. 8.3% Gross Adj. 17.7% | \$ 137,500 | Net Adj. % Gross Adj. % | \$ | Net Adj. % Gross Adj. % | \$ | Net Adj. % Gross Adj. % | \$ | |
| Report the results of the research and analysis of the prior sale or transfer history of the subject property and comparable sales (report additional prior sales on page 3). | | | | | | | | | | |
| ITEM | SUBJECT | COMPARABLE SALE # 4 | | | COMPARABLE SALE # 5 | | | COMPARABLE SALE # 6 | | |
| Date of Prior Sale/Transfer | | | | | | | | | | |
| Price of Prior Sale/Transfer | | | | | | | | | | |
| Data Source(s) | Assessor's Records | Assessor's Records | | | | | | | | |
| Effective Date of Data Source(s) | 08/30/2021 | 08/30/2021 | | | | | | | | |
| Analysis of prior sale or transfer history of the subject property and comparable sales | | | | | | | | | | |
| No recent sales or transfers for comp 4. | | | | | | | | | | |
| Analysis/Comments | | | | | | | | | | |

Supplemental Addendum

File No. 082118B1U

| | | | | | | | |
|------------------|--------------------|--------|-------|-------|----|----------|-------|
| Borrower | Karen S Hayes | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | City of Bettendorf | | | | | | |

URAR : Sales Comparison Analysis - Summary of Sales Comparison Approach

Due to a lack of recent similar sales, comps 1 & 2 are older than 6 months. No age adjustments are required (considered under effective age/condition). There is insufficient market data to warrant adjustments for the following in this market area; lot size, style, year built, basement size and/or exterior amenities, however, these items were considered in the final reconciliation.

Adjustments are warranted for the following; condition, bathroom count, GLA, basement finish and garage utility.

The most similar competing sales in as close proximity to the subject as possible were utilized. Adjustments were made for dissimilar items according to their effect on the market value of the subject. Sales chosen are similar style dwellings, with similar size and utility, located in the subject market area and are considered the most reliable sales available. The subject and all of the comparables are in a flood zone.

The subject sits on an average size lot and is average size (GLA). It has 3 bedrooms and 1 full bathroom above grade, and a rec room, bedroom and .75 bath finished in the basement. The subject also has a 1 car detached garage.

The adjusted values for comps 1-3 range from \$127,700 up to \$137,509, with comp 4 adjusting to \$137,500. The unadjusted sales prices for comps 1-3 range from \$123,500 up to \$153,900, with comp 4 listed at \$150,000. The prices per sf for comps 1-3 range from \$100.24 up to \$139.70 per sf. It is the appraiser's opinion that the subject property would fall into these ranges at \$133,000, or roughly \$121 per sf. Comps 1 & 2 are the closest sold comparables in proximity. Comp 3 is the most recent sale. Comps 2 & 3 have the lowest net adjustment totals. Comp 3 is the most recent sale. Comps 1-3 were given primary consideration.

Some comparable photos may be out of season as they were taken prior to the effective date of this appraisal report for a previous appraisal report. The comparable photos are part of the appraisers database and at a minimum the appraiser has inspected the exterior of the comparables from the street. In some instances, the appraiser attempted to photograph the comparables from the street and people were present which did not allow for the appraiser to photograph the comparable property without disturbing occupants. In these instances, MLS photos were utilized.

The UAD format only allows a single number for the predominant value on pg 1. There is no one single predominant value. The market area is broad, with several small similar subdivisions mixed in, amongst older/inferior and newer/superior subdivisions. The number stated on pg 1 is the average sales price for the entire defined market area. The subject is neither an over or under-improvement, and is well within the marketable range.

UAD Scope of Work disclaimer: At the request of the client, this appraisal report has been prepared in compliance with the Uniform Appraisal Dataset (UAD) from Fannie Mae and Freddie Mac. The UAD requires the appraiser to use standardized responses that included specific formats, definition, abbreviations, and acronyms. I have attempted to obtain an adequate amount of information in the normal course of business regarding the subject and comparable properties. Some of the standardized responses required by the UAD, especially those in which I have not had the opportunity to verify personally or measure, could mistakenly imply greater precision and reliability in the data than is factually correct or typical in the normal course of business. Examples include condition and quality ratings as well as comparable sales and listing data. Not every element of the subject property was viewable (such as areas inside walls covered by finishes, areas covered by furniture and personal belongings, and inner workings of mechanical elements). Comparable property data was generally obtained from third-party source (such as the Assessor, MLS, and Realtors). Consequently, this information should be considered an "estimate" unless otherwise noted by me.

The appraisal was prepared in accordance with the requirements of the Uniform Standards of Professional Appraisal Practice.

The appraisal was prepared in accordance with the requirements of Title XI of the Financial Institutions Reform, Recovery, and Enforcement Act of 1989, as amended (12 U.S.C. 331 et seq.) and any implementing regulations.

FIRREA Certification Statement: The appraiser certifies and agrees that this report is prepared in accordance with the requirements of Title XI of the Financial Institutions, Reform, Recovery, and Enforcement Act (FIRREA) of 1989, as amended (12 U.S.C. 3331 et seq.), and any applicable implementing regulations in effect at the time the appraiser signs the appraisal certification.

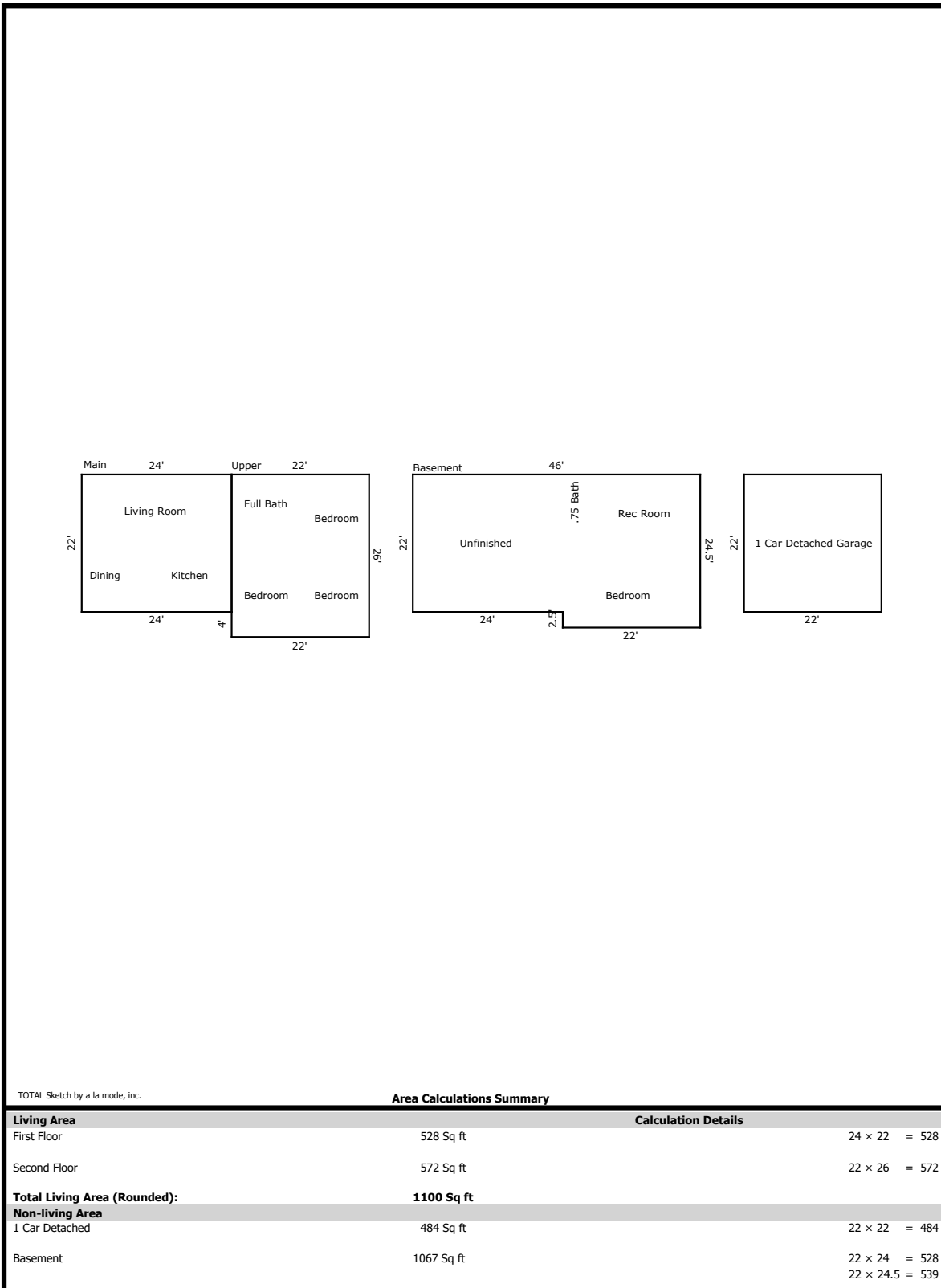
Appraiser Independence

No employee, director, officer, or agent of the lender, or any other third party acting as joint venture partner, independent contractor, appraisal management company, or partner on behalf of the lender, shall influence or attempt to influence the development, reporting, result, or review of an appraisal through coercion, extortion, collusion, compensation, instruction, inducement, intimidation, bribery, or in any other manner.

I have not been contacted by anyone other than the intended user (lender/client as identified on the first page of the report), borrower, or designated contact to make an appointment to enter the property. I agree to immediately report any unauthorized contacts either personally by phone or electronically to the City of Bettendorf.

Building Sketch

| | | | | | |
|------------------|--------------------|--------|-------|----------|-------|
| Borrower | Karen S Hayes | | | | |
| Property Address | 1112 Parkway Dr | | | | |
| City | Bettendorf | County | Scott | State | IA |
| Lender/Client | City of Bettendorf | | | | |
| | | | | Zip Code | 52722 |



TOTAL Sketch by a la mode, inc.

Area Calculations Summary

| Living Area | Calculation Details | |
|-------------------------------------|---------------------|--|
| First Floor | 528 Sq ft | $24 \times 22 = 528$ |
| Second Floor | 572 Sq ft | $22 \times 26 = 572$ |
| Total Living Area (Rounded): | 1100 Sq ft | |
| Non-living Area | | |
| 1 Car Detached | 484 Sq ft | $22 \times 22 = 484$ |
| Basement | 1067 Sq ft | $22 \times 24 = 528$ $22 \times 24.5 = 539$ |

Subject Photo Page

| | | | | | | | |
|------------------|--------------------|--------|-------|-------|----|----------|-------|
| Borrower | Karen S Hayes | | | | | | |
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| Lender/Client | City of Bettendorf | | | | | | |

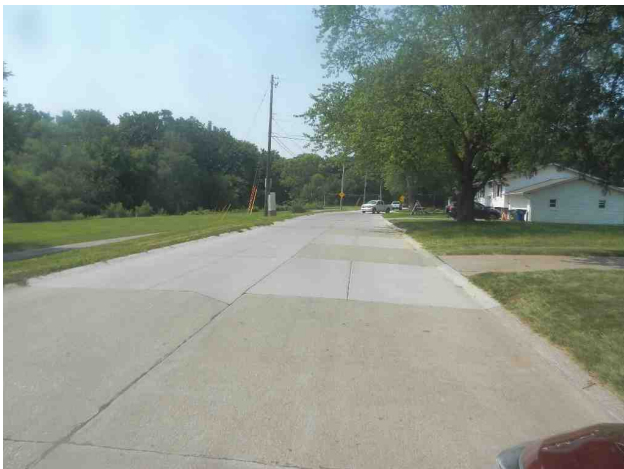


Subject Front

1112 Parkway Dr
Sales Price
Gross Living Area 1,100
Total Rooms 5
Total Bedrooms 3
Total Bathrooms 1.0
Location N;Res;
View N;Res;
Site 6800 sf
Quality Q4
Age 57



Subject Rear



Subject Street

Photograph Addendum

| | | | | | | | |
|------------------|--------------------|--------|-------|-------|----|----------|-------|
| Borrower | Karen S Hayes | | | | | | |
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| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | City of Bettendorf | | | | | | |



Street



Duck creek across the street



House number



1 car detached garage



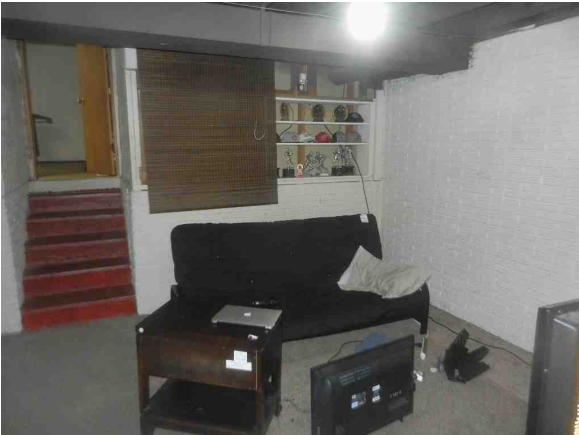
Central air unit



Unfinished basement

Photograph Addendum

| | | | | | | | |
|------------------|--------------------|--------|-------|-------|----|----------|-------|
| Borrower | Karen S Hayes | | | | | | |
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| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | City of Bettendorf | | | | | | |



Unfinished basement



Furnace & water heater



Rec room in basement



Electrical panel



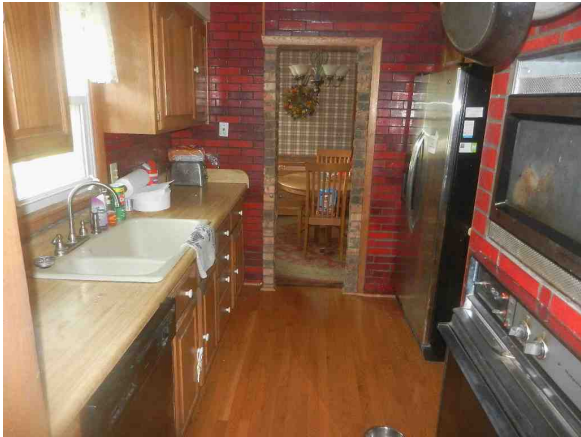
.75 bath in basement



Bedroom in basement

Photograph Addendum

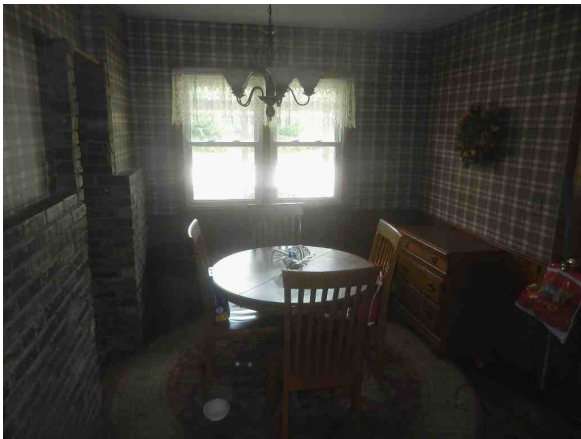
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|------------------|--------------------|--------|-------|-------|----|----------|-------|
| Borrower | Karen S Hayes | | | | | | |
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| Lender/Client | City of Bettendorf | | | | | | |



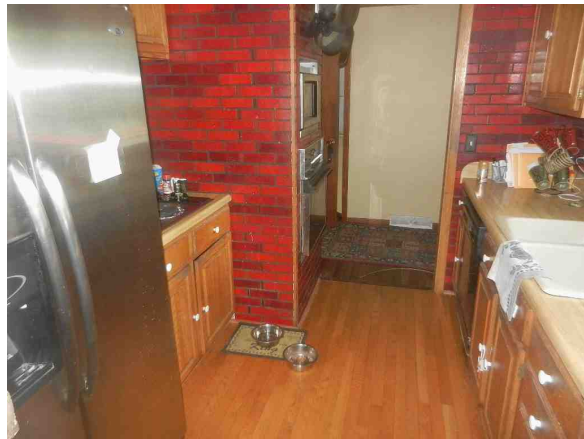
Kitchen



Living room



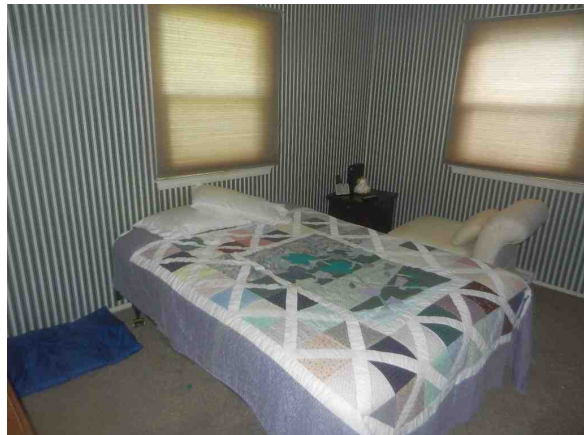
Dining area



Kitchen



Smoke & CO detector



Bedroom

Photograph Addendum

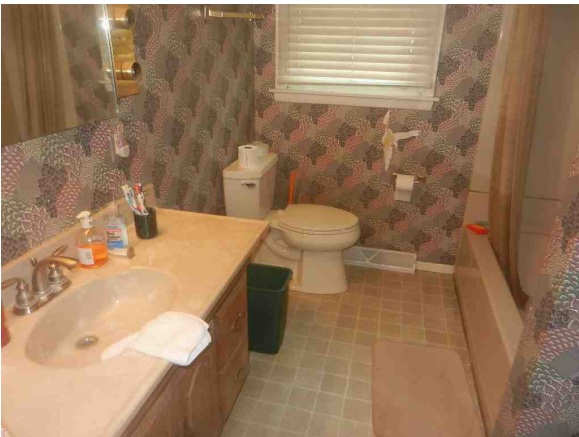
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|------------------|--------------------|--------|-------|-------|----|----------|-------|
| Borrower | Karen S Hayes | | | | | | |
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| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | City of Bettendorf | | | | | | |



Bedroom



Bedroom



Full bath

Comparable Photo Page

| | | | | | |
|------------------|--------------------|--------|-------|-------|----|
| Borrower | Karen S Hayes | | | | |
| Property Address | 1112 Parkway Dr | | | | |
| City | Bettendorf | County | Scott | State | IA |
| Zip Code | 52722 | | | | |
| Lender/Client | City of Bettendorf | | | | |



Comparable 1

2626 Heather Ln
 Prox. to Subject 0.19 miles NE
 Sale Price 153,900
 Gross Living Area 1,264
 Total Rooms 5
 Total Bedrooms 3
 Total Bathrooms 1.0
 Location N;Res;
 View N;Res;
 Site 9450 sf
 Quality Q4
 Age 57



Comparable 2

1711 Parkway Dr
 Prox. to Subject 0.58 miles SE
 Sale Price 123,500
 Gross Living Area 1,232
 Total Rooms 6
 Total Bedrooms 3
 Total Bathrooms 2.0
 Location N;Res;
 View N;Res;
 Site 7560 sf
 Quality Q4
 Age 64



Comparable 3

1111 Crestview Ct
 Prox. to Subject 0.05 miles NW
 Sale Price 134,109
 Gross Living Area 960
 Total Rooms 5
 Total Bedrooms 3
 Total Bathrooms 1.0
 Location N;Res;
 View N;Res;
 Site 6600 sf
 Quality Q4
 Age 60

Comparable Photo Page

| | | | | | | | |
|------------------|--------------------|--------|-------|-------|----|----------|-------|
| Borrower | Karen S Hayes | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | City of Bettendorf | | | | | | |



Comparable 4

2613 Holly Dr
 Prox. to Subject 0.15 miles NW
 Sale Price 150,000
 Gross Living Area 1,040
 Total Rooms 5
 Total Bedrooms 3
 Total Bathrooms 1.0
 Location N;Res;
 View N;Res;
 Site 6650 sf
 Quality Q4
 Age 60

Comparable 5

Prox. to Subject
 Sale Price
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location
 View
 Site
 Quality
 Age

Comparable 6

Prox. to Subject
 Sale Price
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location
 View
 Site
 Quality
 Age

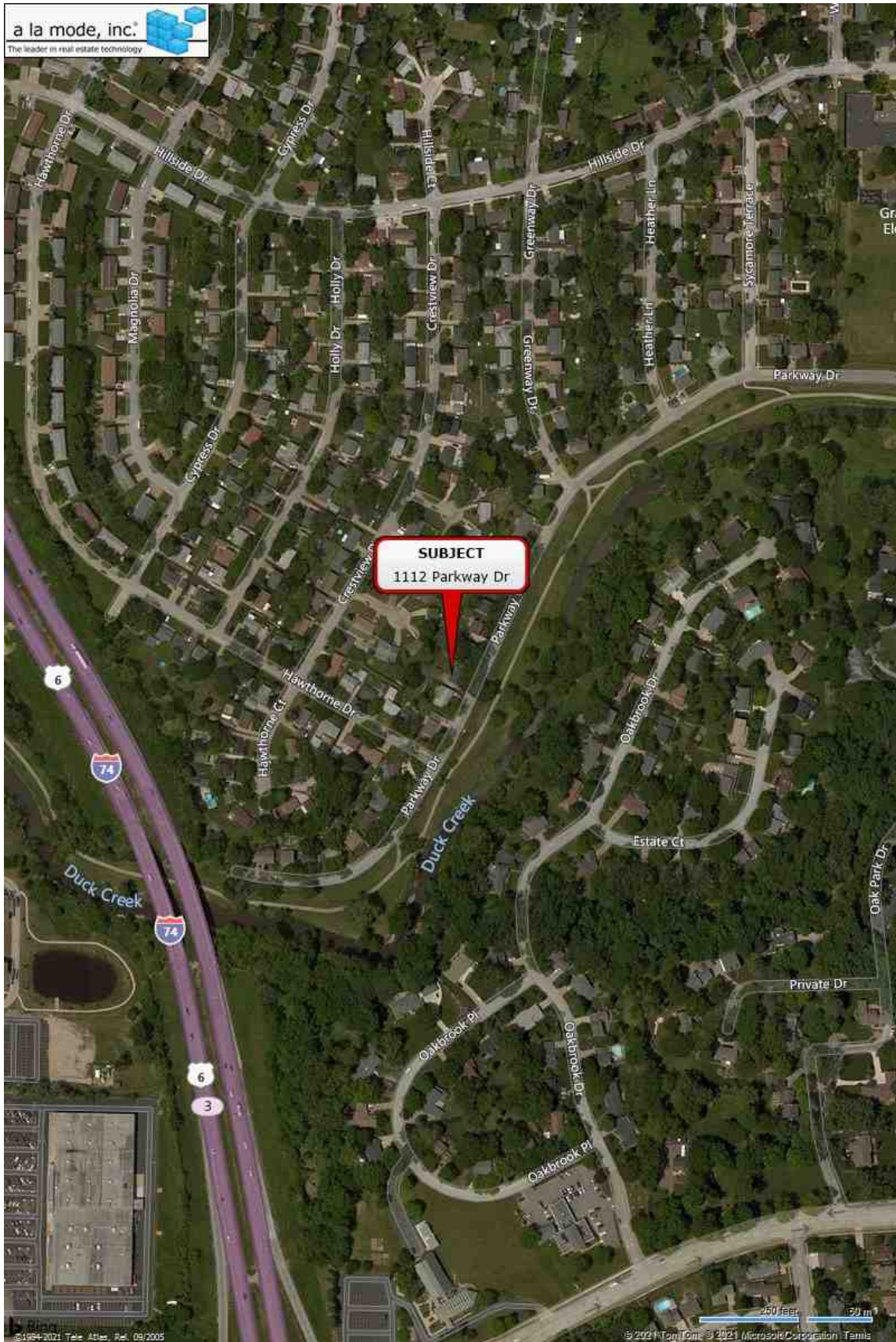
Location Map

| | | | | | |
|------------------|--------------------|--------|-------|-------|----|
| Borrower | Karen S Hayes | | | | |
| Property Address | 1112 Parkway Dr | | | | |
| City | Bettendorf | County | Scott | State | IA |
| Zip Code | 52722 | | | | |
| Lender/Client | City of Bettendorf | | | | |



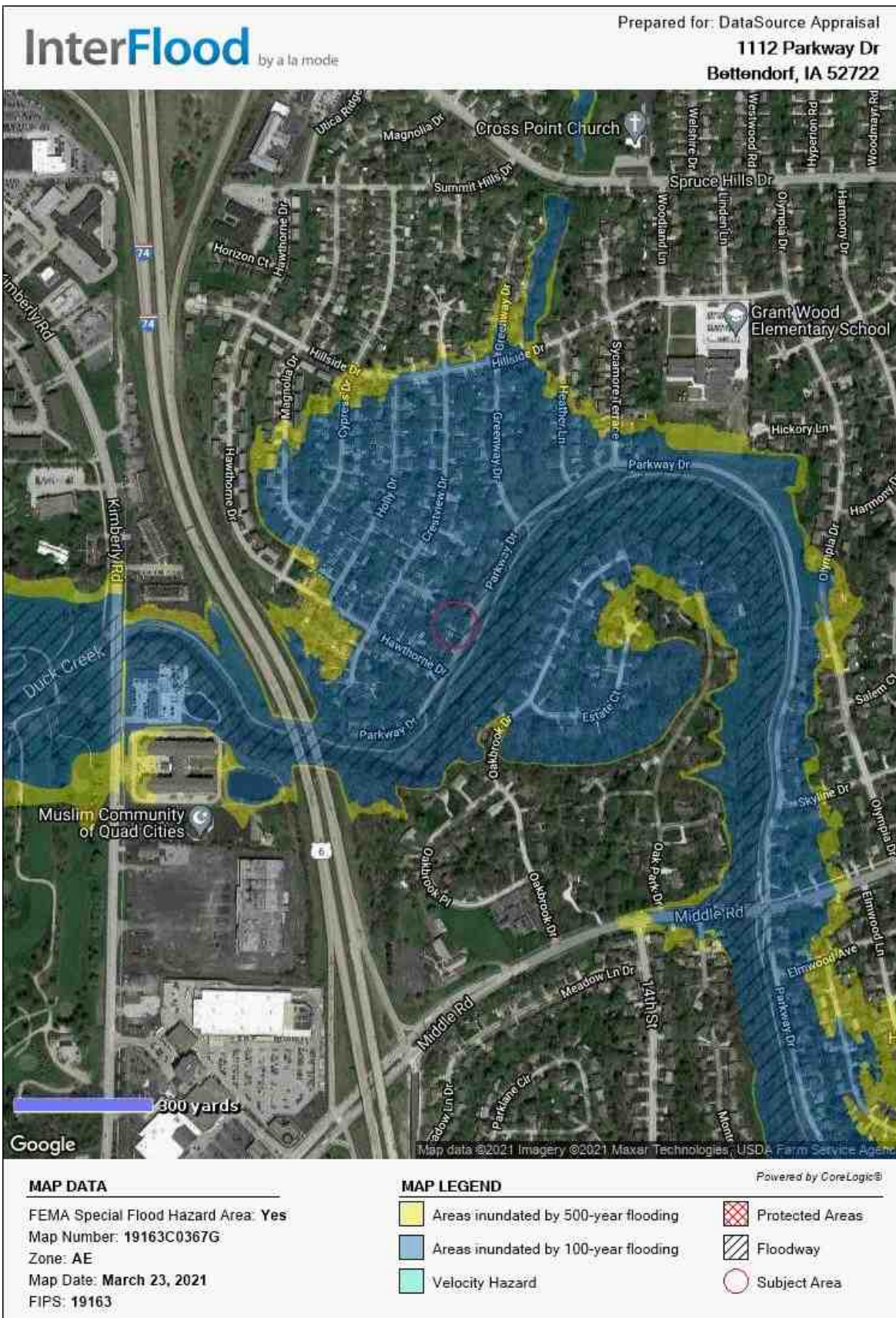
Aerial Map

| | | | | | | | |
|------------------|--------------------|--------|-------|-------|----|----------|-------|
| Borrower | Karen S Hayes | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | City of Bettendorf | | | | | | |



Flood Map

| | | | | | |
|------------------|--------------------|----------|-------|-------|----|
| Borrower | Karen S Hayes | | | | |
| Property Address | 1112 Parkway Dr | | | | |
| City | Bettendorf | County | Scott | State | IA |
| Lender/Client | City of Bettendorf | Zip Code | 52722 | | |



GIS/Plat Map

| | | | | | | | |
|------------------|--------------------|--------|-------|-------|----|----------|-------|
| Borrower | Karen S Hayes | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | City of Bettendorf | | | | | | |



| | | | |
|------------------|--------------------|----------|-----------|
| Borrower | Karen S Hayes | File No. | 082118B1U |
| Property Address | 1112 Parkway Dr | | |
| City | Bettendorf | County | Scott |
| | | State | IA |
| | | Zip Code | 52722 |
| Lender/Client | City of Bettendorf | | |

APPRAISAL AND REPORT IDENTIFICATION

This Report is one of the following types:

- Appraisal Report (A written report prepared under Standards Rule 2-2(a), pursuant to the Scope of Work, as disclosed elsewhere in this report.)
- Restricted Appraisal Report (A written report prepared under Standards Rule 2-2(b), pursuant to the Scope of Work, as disclosed elsewhere in this report, restricted to the stated intended use only by the specified client and any other named intended user(s).)

Comments on Standards Rule 2-3

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- Unless otherwise indicated, I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
- Unless otherwise indicated, I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- I have no bias with respect to the property that is the subject of this report or the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.
- Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.
- Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification (if there are exceptions, the name of each individual providing significant real property appraisal assistance is stated elsewhere in this report).

Reasonable Exposure Time

(USPAP defines Exposure Time as the estimated length of time that the property interest being

appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal.)

My Opinion of Reasonable Exposure Time for the subject property at the market value stated in this report is:

0-60 days

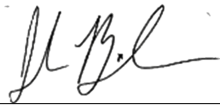
Comments on Appraisal and Report Identification

Note any USPAP-related issues requiring disclosure and any state mandated requirements:

Page 1 of the URAR indicates that this report is a "Summary Appraisal Report". As of January 1, 2014, the Summary Appraisal Report no longer exists (per USPAP), and this report is now simply an "Appraisal Report". The form is inaccurate because it has not yet been updated to comply with current USPAP.

I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.

APPRAISER:

Signature: 
 Name: Josh Binneboese

State Certification #: CR03117

or State License #: _____

State: IA Expiration Date of Certification or License: 06/30/2022

Date of Signature and Report: 08/30/2021

Effective Date of Appraisal: 07/27/2021

Inspection of Subject: None Interior and Exterior Exterior-Only

Date of Inspection (if applicable): 07/27/2021

SUPERVISORY or CO-APPRAISER (if applicable):

Signature: _____
 Name: _____

State Certification #: _____

or State License #: _____

State: _____ Expiration Date of Certification or License: _____

Date of Signature: _____

Inspection of Subject: None Interior and Exterior Exterior-Only

Date of Inspection (if applicable): _____

UNIFORM APPRAISAL DATASET (UAD) DEFINITIONS ADDENDUM

(Source: Fannie Mae UAD Appendix D: UAD Field-Specific Standardization Requirements)

Condition Ratings and Definitions

C1

The improvements have been recently constructed and have not been previously occupied. The entire structure and all components are new and the dwelling features no physical depreciation.

Note: Newly constructed improvements that feature recycled or previously used materials and/or components can be considered new dwellings provided that the dwelling is placed on a 100 percent new foundation and the recycled materials and the recycled components have been rehabilitated/remanufactured into like-new condition. Improvements that have not been previously occupied are not considered "new" if they have any significant physical depreciation (that is, newly constructed dwellings that have been vacant for an extended period of time without adequate maintenance or upkeep).

C2

The improvements feature no deferred maintenance, little or no physical depreciation, and require no repairs. Virtually all building components are new or have been recently repaired, refinished, or rehabilitated. All outdated components and finishes have been updated and/or replaced with components that meet current standards. Dwellings in this category are either almost new or have been recently completely renovated and are similar in condition to new construction.

Note: The improvements represent a relatively new property that is well maintained with no deferred maintenance and little or no physical depreciation, or an older property that has been recently completely renovated.

C3

The improvements are well maintained and feature limited physical depreciation due to normal wear and tear. Some components, but not every major building component, may be updated or recently rehabilitated. The structure has been well maintained.

Note: The improvement is in its first-cycle of replacing short-lived building components (appliances, floor coverings, HVAC, etc.) and is being well maintained. Its estimated effective age is less than its actual age. It also may reflect a property in which the majority of short-lived building components have been replaced but not to the level of a complete renovation.

C4

The improvements feature some minor deferred maintenance and physical deterioration due to normal wear and tear. The dwelling has been adequately maintained and requires only minimal repairs to building components/mechanical systems and cosmetic repairs. All major building components have been adequately maintained and are functionally adequate.

Note: The estimated effective age may be close to or equal to its actual age. It reflects a property in which some of the short-lived building components have been replaced, and some short-lived building components are at or near the end of their physical life expectancy; however, they still function adequately. Most minor repairs have been addressed on an ongoing basis resulting in an adequately maintained property.

C5

The improvements feature obvious deferred maintenance and are in need of some significant repairs. Some building components need repairs, rehabilitation, or updating. The functional utility and overall livability is somewhat diminished due to condition, but the dwelling remains useable and functional as a residence.

Note: Some significant repairs are needed to the improvements due to the lack of adequate maintenance. It reflects a property in which many of its short-lived building components are at the end of or have exceeded their physical life expectancy but remain functional.

C6

The improvements have substantial damage or deferred maintenance with deficiencies or defects that are severe enough to affect the safety, soundness, or structural integrity of the improvements. The improvements are in need of substantial repairs and rehabilitation, including many or most major components.

Note: Substantial repairs are needed to the improvements due to the lack of adequate maintenance or property damage. It reflects a property with conditions severe enough to affect the safety, soundness, or structural integrity of the improvements.

Quality Ratings and Definitions

Q1

Dwellings with this quality rating are usually unique structures that are individually designed by an architect for a specified user. Such residences typically are constructed from detailed architectural plans and specifications and feature an exceptionally high level of workmanship and exceptionally high-grade materials throughout the interior and exterior of the structure. The design features exceptionally high-quality exterior refinements and ornamentation, and exceptionally high-quality interior refinements. The workmanship, materials, and finishes throughout the dwelling are of exceptionally high quality.

Q2

Dwellings with this quality rating are often custom designed for construction on an individual property owner's site. However, dwellings in this quality grade are also found in high-quality tract developments featuring residence constructed from individual plans or from highly modified or upgraded plans. The design features detailed, high quality exterior ornamentation, high-quality interior refinements, and detail. The workmanship, materials, and finishes throughout the dwelling are generally of high or very high quality.

UNIFORM APPRAISAL DATASET (UAD) DEFINITIONS ADDENDUM

(Source: Fannie Mae UAD Appendix D: UAD Field-Specific Standardization Requirements)

Quality Ratings and Definitions (continued)

Q3

Dwellings with this quality rating are residences of higher quality built from individual or readily available designer plans in above-standard residential tract developments or on an individual property owner's site. The design includes significant exterior ornamentation and interiors that are well finished. The workmanship exceeds acceptable standards and many materials and finishes throughout the dwelling have been upgraded from "stock" standards.

Q4

Dwellings with this quality rating meet or exceed the requirements of applicable building codes. Standard or modified standard building plans are utilized and the design includes adequate fenestration and some exterior ornamentation and interior refinements. Materials, workmanship, finish, and equipment are of stock or builder grade and may feature some upgrades.

Q5

Dwellings with this quality rating feature economy of construction and basic functionality as main considerations. Such dwellings feature a plain design using readily available or basic floor plans featuring minimal fenestration and basic finishes with minimal exterior ornamentation and limited interior detail. These dwellings meet minimum building codes and are constructed with inexpensive, stock materials with limited refinements and upgrades.

Q6

Dwellings with this quality rating are of basic quality and lower cost; some may not be suitable for year-round occupancy. Such dwellings are often built with simple plans or without plans, often utilizing the lowest quality building materials. Such dwellings are often built or expanded by persons who are professionally unskilled or possess only minimal construction skills. Electrical, plumbing, and other mechanical systems and equipment may be minimal or non-existent. Older dwellings may feature one or more substandard or non-conforming additions to the original structure.

Definitions of Not Updated, Updated, and Remodeled

Not Updated

Little or no updating or modernization. This description includes, but is not limited to, new homes.

Residential properties of fifteen years of age or less often reflect an original condition with no updating, if no major components have been replaced or updated. Those over fifteen years of age are also considered not updated if the appliances, fixtures, and finishes are predominantly dated. An area that is 'Not Updated' may still be well maintained and fully functional, and this rating does not necessarily imply deferred maintenance or physical/functional deterioration.

Updated

The area of the home has been modified to meet current market expectations. These modifications are limited in terms of both scope and cost.

An updated area of the home should have an improved look and feel, or functional utility. Changes that constitute updates include refurbishment and/or replacing components to meet existing market expectations. Updates do not include significant alterations to the existing structure.

Remodeled

Significant finish and/or structural changes have been made that increase utility and appeal through complete replacement and/or expansion.

A remodeled area reflects fundamental changes that include multiple alterations. These alterations may include some or all of the following: replacement of a major component (cabinet(s), bathtub, or bathroom tile), relocation of plumbing/gas fixtures/appliances, significant structural alterations (relocating walls, and/or the addition of square footage). This would include a complete gutting and rebuild.

Explanation of Bathroom Count

Three-quarter baths are counted as a full bath in all cases. Quarter baths (baths that feature only a toilet) are not included in the bathroom count. The number of full and half baths is reported by separating the two values using a period, where the full bath count is represented to the left of the period and the half bath count is represented to the right of the period.

Example:

3.2 indicates three full baths and two half baths.

Appraiser License



STATE OF IOWA
IOWA DEPARTMENT OF COMMERCE
PROFESSIONAL LICENSING AND REGULATION

This is to certify that the below named has been granted a certification
as: Certified Residential Appraiser.

Certification Number: CR03117 Expires: June 30, 2022

Status: Active

Josh Leon Binneboese
DataSource Appraisal
630 River Dr Suite 201
Bettendorf, Iowa 52722



APPRAISAL OF REAL PROPERTY



LOCATED AT

1112 Parkway Dr
Bettendorf, IA 52722
Lot 11 Hawthorne Hills 8th Add

FOR

Ms. Karen Hayes
1112 Parkway Dr
Bettendorf, IA 52722

OPINION OF VALUE

182,500

AS OF

05/19/2025

BY

Christopher D Adams
Adams Appraisals
1812 Iowa St
Davenport, IA 52803
(563) 232-1408
AdamsAppraisalsQCA@gmail.com

RESIDENTIAL APPRAISAL REPORT

File No.: 25050236

Property Address: **1112 Parkway Dr** City: **Bettendorf** State: **IA** Zip Code: **52722**
 County: **Scott** Legal Description: **Lot 11 Hawthorne Hills 8th Add**
 Assessor's Parcel #: **842023411**
 Tax Year: **2024** R.E. Taxes: \$ **2,214** Special Assessments: \$ **0** Borrower (if applicable):
 Current Owner of Record: **Karen S Hayes** Occupant: Owner Tenant Vacant Manufactured Housing
 Project Type: PUD Condominium Cooperative Other (describe) HOA: \$ _____ per year per month
 Market Area Name: **Hawthorne Hills 8th Add** Map Reference: **19340** Census Tract: **0135.00**

The purpose of this appraisal is to develop an opinion of: Market Value (as defined), or other type of value (describe)
 This report reflects the following value (if not Current, see comments): Current (the Inspection Date is the Effective Date) Retrospective Prospective
 Approaches developed for this appraisal: Sales Comparison Approach Cost Approach Income Approach (See Reconciliation Comments and Scope of Work)
 Property Rights Appraised: Fee Simple Leasehold Leased Fee Other (describe)
 Intended Use: **The intended use of this appraisal is to determine the market value as of the effective date on or before 05/19/2025**
 Intended User(s) (by name or type): **Ms. Karen Hayes and whom they assign.**
 Client: **Ms. Karen Hayes** Address: **1112 Parkway Dr, Bettendorf, IA 52722**
 Appraiser: **Christopher D Adams** Address: **1812 Iowa St, Davenport, IA 52803**

| | | | | | | | | |
|------------------|---|---|------------------|-----------|------------------|---|--------------------|--|
| Location: | <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Rural | Predominant Occupancy | One-Unit Housing | | Present Land Use | | Change in Land Use | |
| Built up: | <input checked="" type="checkbox"/> Over 75% <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25% | | PRICE (\$000) | AGE (yrs) | One-Unit % | <input checked="" type="checkbox"/> Not Likely | | |
| Growth rate: | <input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow | <input checked="" type="checkbox"/> Owner | 120 | Low 25 | 2-4 Unit % | <input type="checkbox"/> Likely * <input type="checkbox"/> In Process * | | |
| Property values: | <input type="checkbox"/> Increasing <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Declining | <input type="checkbox"/> Tenant | 250 | High 80 | Multi-Unit % | * To: _____ | | |
| Demand/supply: | <input type="checkbox"/> Shortage <input checked="" type="checkbox"/> In Balance <input type="checkbox"/> Over Supply | <input checked="" type="checkbox"/> Vacant (0-5%) | 185 | Pred 60 | Comm'l % | | | |
| Marketing time: | <input checked="" type="checkbox"/> Under 3 Mos. <input type="checkbox"/> 3-6 Mos. <input type="checkbox"/> Over 6 Mos. | <input type="checkbox"/> Vacant (>5%) | | | | | | |

Market Area Boundaries, Description, and Market Conditions (including support for the above characteristics and trends):
There is a limited balance of properties on the market for the demand at the present time. There is ample financing for the qualified buyer. The market is best categorized as stable with minor fluctuations which are influenced mostly by seasonal variation.

Dimensions: **68x100** Site Area: **6,800 sf**
 Zoning Classification: **R-1** Description: **Single Family Residential**
 Zoning Compliance: Legal Legal nonconforming (grandfathered) Illegal No zoning
 Are CC&Rs applicable? Yes No Unknown Have the documents been reviewed? Yes No Ground Rent (if applicable) \$ _____ /
 Highest & Best Use as improved: Present use, or Other use (explain) **Highest and best use was derived from legal permissibility and neighborhood conformity.**
 Actual Use as of Effective Date: **05/17/2021** Use as appraised in this report: **Single Family Residence**
 Summary of Highest & Best Use: **Highest and best use was derived from legal permissibility and neighborhood conformity.**

| Utilities | Public | Other | Provider/Description | Off-site Improvements | Type | Public | Private | Topography | Level on Grade |
|----------------|-------------------------------------|--------------------------|----------------------|-----------------------|----------|-------------------------------------|--------------------------|------------|----------------|
| Electricity | <input checked="" type="checkbox"/> | <input type="checkbox"/> | MidAmerican | Street | Concrete | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Size | Similar |
| Gas | <input checked="" type="checkbox"/> | <input type="checkbox"/> | MidAmerican | Curb/Gutter | Concrete | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Shape | Rectangular |
| Water | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Iowa Water | Sidewalk | None | <input type="checkbox"/> | <input type="checkbox"/> | Drainage | Average |
| Sanitary Sewer | <input checked="" type="checkbox"/> | <input type="checkbox"/> | City of Bettendorf | Street Lights | Public | <input checked="" type="checkbox"/> | <input type="checkbox"/> | View | Residential |
| Storm Sewer | <input checked="" type="checkbox"/> | <input type="checkbox"/> | City of Bettendorf | Alley | None | <input type="checkbox"/> | <input type="checkbox"/> | | |

Other site elements: Inside Lot Corner Lot Cul de Sac Underground Utilities Other (describe)
 FEMA Spec'l Flood Hazard Area Yes No FEMA Flood Zone **AE** FEMA Map # **19163C0367H** FEMA Map Date **4/11/2024**
 Site Comments: **No apparent adverse easements or encroachments noted. No environmental conditions noted, however, the appraiser is not an expert in this field. The subject's parcel is located in flood zone AE which may require flood insurance for mortgage purposes.**

| | | | | | | | | | |
|--|---|-----------------------------|-------------------------------------|--|-------------------------------------|---|--------------------|---|-----------------------------------|
| General Description | | Exterior Description | | Foundation | | Basement <input type="checkbox"/> None | | Heating | |
| # of Units | 1 <input type="checkbox"/> Acc. Unit | Foundation | P. Concrete | Slab | 0% | Area Sq. Ft. | 1,067 | Type | F. Air |
| # of Stories | 1 | Exterior Walls | Masonite S | Crawl Space | 0% | % Finished | 51 | Fuel | Gas |
| Type | <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/> | Roof Surface | Asphalt | Basement | 100% | Ceiling | Drywall | Cooling | Yes |
| Design (Style) | Split Level | Gutters & Dwnspts. | Aluminum | Sump Pump | <input type="checkbox"/> None | Walls | Drywall | Central | Central Air |
| <input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Und. Cons. | | Window Type | Dble Hng | Dampness | <input type="checkbox"/> None Ntd | Floor | Crpt, Vinyl | Other | |
| Actual Age (Yrs.) | 1964 | Storm/Screens | Storms | Settlement | None Noted | Outside Entry | None | | |
| Effective Age (Yrs.) | 25 | | | Infestation | Did Not Check | | | | |
| Interior Description | | Appliances | | Attic <input type="checkbox"/> None | | Amenities | | Car Storage <input type="checkbox"/> None | |
| Floors | Hw, Vinyl, Crpt/Avg | Refrigerator | <input type="checkbox"/> | Stairs | <input type="checkbox"/> | Fireplace(s) # | 1 | Woodstove(s) # | |
| Walls | Drywall / Avg | Range/Oven | <input checked="" type="checkbox"/> | Drop Stair | <input type="checkbox"/> | Patio | None | | Garage # of cars (3 Tot.) |
| Trim/Finish | Mahogany / Avg | Disposal | <input type="checkbox"/> | Scuttle | <input checked="" type="checkbox"/> | Deck | Wood | | Attach. 1 Detached |
| Bath Floor | Vinyl / Avg | Dishwasher | <input checked="" type="checkbox"/> | Doorway | <input type="checkbox"/> | Porch | None | | Bit-In _____ |
| Bath Wainscot | Fbrglss / Avg | Fan/Hood | <input type="checkbox"/> | Floor | <input type="checkbox"/> | Fence | None | | Carport _____ |
| Doors | Panel / Avg | Microwave | <input type="checkbox"/> | Heated | <input type="checkbox"/> | Pool | None | | Driveway 2 Concrete |
| | | Washer/Dryer | <input type="checkbox"/> | Finished | <input type="checkbox"/> | | | | Surface Concrete |
| Finished area above grade contains: | | 5 Rooms | | 3 Bedrooms | | 1 Bath(s) | | 1,100 Square Feet of Gross Living Area Above Grade | |
| Additional features: | | None Noted | | | | | | | |

Describe the condition of the property (including physical, functional and external obsolescence):
The subject property is a split level style home located in a well established neighborhood. The home is located near the public bike trail in a current flood zone location. The home has a one car detached garage with additional storage area. The dwelling offers a deck on the front. The interior is considered to be in average condition. The flooring is considered to be in average condition per the age.. The kitchen has oak cabinetry with formica countertops. The subject has three bedrooms with one bathroom on the upper level. The lower level offers partial finishing that includes a rec. room, bedroom and bathroom. The basement is unfinished and located below the main level living area. Overall, the home conforms well to surrounding properties.

RESIDENTIAL APPRAISAL REPORT

File No.: 25050236

My research did did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.

Data Source(s): Corelogic Public Records

TRANSFER HISTORY

| | |
|-------------------------------------|---|
| 1st Prior Subject Sale/Transfer | Analysis of sale/transfer history and/or any current agreement of sale/listing: |
| Date: | |
| Price: | |
| Source(s): Corelogic Public Records | |
| 2nd Prior Subject Sale/Transfer | |
| Date: | |
| Price: | |
| Source(s): | |

SALES COMPARISON APPROACH TO VALUE (if developed) The Sales Comparison Approach was not developed for this appraisal.

SALES COMPARISON APPROACH

| FEATURE | SUBJECT | COMPARABLE SALE # 1 | | COMPARABLE SALE # 2 | | COMPARABLE SALE # 3 | |
|------------------------------------|---|--|-----------------|---|-----------------|---|-----------------|
| Address | 1112 Parkway Dr Bettendorf, IA 52722 | 1120 Crestview Ct Bettendorf, IA 52722 | | 1136 Parkway Dr Bettendorf, IA 52722 | | 1204 Spruce Hills Dr Bettendorf, IA 52722 | |
| Proximity to Subject | | 0.03 miles NW | | 0.08 miles NE | | 0.44 miles N | |
| Sale Price | \$ | \$ 185,000 | | \$ 200,000 | | \$ 168,000 | |
| Sale Price/GLA | \$ /sq.ft. | \$ 167.57 /sq.ft. | | \$ 174.83 /sq.ft. | | \$ 179.49 /sq.ft. | |
| Data Source(s) | | FSBO/Assessor | | Prior Appraisal | | QC4259763; DOM 51 | |
| Verification Source(s) | | MLS, Assessor, Ext Obsrvtn, Rltr | | InterObsrvtn,MLS,Rltr,Assessor | | MLS, Assessor, Ext Obsrvtn, Rltr | |
| VALUE ADJUSTMENTS | DESCRIPTION | DESCRIPTION | +(-) \$ Adjust. | DESCRIPTION | +(-) \$ Adjust. | DESCRIPTION | +(-) \$ Adjust. |
| Sales or Financing | | ArmLth | | ArmLth | | ArmLth | |
| Concessions | | Cash | | Cash | | Conv; 0 | |
| Date of Sale/Time | | 06/12/2024 | | 07/08/2024 | | 04/25/2025 | |
| Rights Appraised | Fee Simple | Fee Simple | | Fee Simple | | Fee Simple | |
| Location | Urban Avg | Urban Avg | | Urban Avg | | Urban Avg | |
| Site | 6,800 sf | 10018 (Irreg) | | 6,800 sf | | 8276 sf | |
| View | Residential | Residential | | Residential | | Residential | |
| Design (Style) | Split Level | Split Level | | Ranch | | Ranch | |
| Quality of Construction | Masonite S | Vinyl Siding | | Vinyl Siding | | Comp S. | |
| Age | 61 | 66 | | 60 | | 60 | |
| Condition | Average | Average | | Average-Good | | Average | |
| Above Grade | Total Bdrms Baths | Total Bdrms Baths | | Total Bdrms Baths | | Total Bdrms Baths | |
| Room Count | 5 3 1 | 5 3 1 | | 5 3 1 | | 5 3 1 | |
| Gross Living Area | 1,100 sq.ft. | 1,104 sq.ft. | | 1,144 sq.ft. | | 936 sq.ft. | |
| Basement & Finished | 1067sf | 1104sf | | 1144sf | | 936sf | |
| Rooms Below Grade | Partial Finish | Similar Finish | | Similar Finish | | Similar Finish | |
| Functional Utility | Average | Average | | Average | | Average | |
| Heating/Cooling | F.Air & C.Air | F.Air & C.Air | | F.Air & C.Air | | F.Air & C.Air | |
| Energy Efficient Items | None | None | | None | | None | |
| Garage/Carport | 1 Det.Garage | 1 Built-In | | 2 Attached | | 1 Det.Garage | |
| Porch/Patio/Deck | Deck | Deck | | Deck | | Deck | |
| Net Adjustment (Total) | | <input type="checkbox"/> + <input type="checkbox"/> - \$ 0 | | <input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -16,000 | | <input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 5,740 | |
| Adjusted Sale Price of Comparables | | \$ 185,000 | | \$ 184,000 | | \$ 173,740 | |

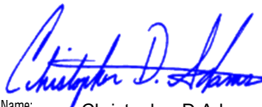
Summary of Sales Comparison Approach All three sales are competitive style properties located in similar market demand locations. Sales 1 and 2 are both located in the same immediate location with similar flood related influences. Sale 3 is located along a heavily traveled street. Sale 2 has additional interior upgrades and considered superior in overall condition to that of the subject. Sale 3 is smaller in GLA above grade. Sale 2 also offered a larger two car attached garage. All three sales are good indicators of value and have sold under similar market conditions. The opinion of value per the sales comparison approach is \$182,500.00.

Indicated Value by Sales Comparison Approach \$ 182,500



RESIDENTIAL APPRAISAL REPORT

File No.: 25050236

| | | |
|-----------------|---|--|
| COST APPROACH | COST APPROACH TO VALUE (if developed) <input checked="" type="checkbox"/> The Cost Approach was not developed for this appraisal. | |
| | Provide adequate information for replication of the following cost figures and calculations. Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value): | |
| | Site values were determined from limited | |
| | land sales for established areas (Sales Comparison) and or the Allocation or Extraction Method whichever is applicable. The allocation method is typically used when a newer construction home is built. The extraction method takes into consideration the sales price of the property and the contributory value of its improvements. | |
| | ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW | OPINION OF SITE VALUE -----=\$ 35,000 |
| | Source of cost data: | DWELLING Sq.Ft. @ \$ -----=\$ |
| | Quality rating from cost service: Effective date of cost data: | Sq.Ft. @ \$ -----=\$ |
| | Comments on Cost Approach (gross living area calculations, depreciation, etc.): | Sq.Ft. @ \$ -----=\$ |
| | The Cost Approach is not applicable due to the age of the property and the difficulty estimating the depreciation of the improvements. Estimates could not reflect accurate Cost Approach data. | Sq.Ft. @ \$ -----=\$ |
| | Estimated Remaining Economic Life (if required): 45 Years | INDICATED VALUE BY COST APPROACH -----=\$ |
| INCOME APPROACH | INCOME APPROACH TO VALUE (if developed) <input checked="" type="checkbox"/> The Income Approach was not developed for this appraisal. | |
| | Estimated Monthly Market Rent \$ X Gross Rent Multiplier = \$ | Indicated Value by Income Approach |
| | Summary of Income Approach (including support for market rent and GRM): | |
| PUD | PROJECT INFORMATION FOR PUDs (if applicable) <input type="checkbox"/> The Subject is part of a Planned Unit Development. | |
| | Legal Name of Project: | |
| | Describe common elements and recreational facilities: | |
| | _____ | |
| RECONCILIATION | Indicated Value by: Sales Comparison Approach \$ 182,500 | Cost Approach (if developed) \$ _____ |
| | Income Approach (if developed) \$ _____ | |
| | Final Reconciliation Primary consideration is given to the sales comparison approach. Secondary considerations is given to the cost approach and income approach if applicable. The final opinion of market value is \$ 182,500.00 . | |
| | This appraisal is made <input checked="" type="checkbox"/> "as is", <input type="checkbox"/> subject to completion per plans and specifications on the basis of a Hypothetical Condition that the improvements have been completed, <input type="checkbox"/> subject to the following repairs or alterations on the basis of a Hypothetical Condition that the repairs or alterations have been completed, <input type="checkbox"/> subject to the following required inspection based on the Extraordinary Assumption that the condition or deficiency does not require alteration or repair: | |
| | _____ | |
| ATTACHMENTS | <input type="checkbox"/> This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda. | |
| | Based on the degree of inspection of the subject property, as indicated below, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is: \$ 182,500 , as of: 05/19/2025 , which is the effective date of this appraisal. If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda. | |
| | A true and complete copy of this report contains 17 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report. | |
| | Attached Exhibits: | |
| | <input checked="" type="checkbox"/> Scope of Work <input checked="" type="checkbox"/> Limiting Cond./Certifications <input type="checkbox"/> Narrative Addendum <input checked="" type="checkbox"/> Photograph Addenda <input checked="" type="checkbox"/> Sketch Addendum <input checked="" type="checkbox"/> Map Addenda <input type="checkbox"/> Additional Sales <input type="checkbox"/> Cost Addendum <input checked="" type="checkbox"/> Flood Addendum <input type="checkbox"/> Manuf. House Addendum <input type="checkbox"/> Hypothetical Conditions <input type="checkbox"/> Extraordinary Assumptions <input type="checkbox"/> _____ <input checked="" type="checkbox"/> INVOICE | |
| SIGNATURES | Client Contact: Karen Hayes Client Name: Ms. Karen Hayes | |
| | E-Mail: kshayes160@gmail.com Address: 1112 Parkway Dr, Bettendorf, IA 52722 | |
| | APPRAISER _____ SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable) | |
| |  Appraiser Name: Christopher D Adams Supervisory or Co-Appraiser Name: _____ | |
| | Company: Adams Appraisals Company: _____ Phone: (563) 232-1408 Fax: (563) 323-1767 Phone: _____ Fax: _____ E-Mail: AdamsAppraisalsQCA@gmail.com E-Mail: _____ Date of Report (Signature): 05/23/2025 Date of Report (Signature): _____ License or Certification #: CR02415 State: IA License or Certification #: _____ State: _____ Designation: Certified Real Estate Appraiser Designation: _____ Expiration Date of License or Certification: 06/30/2026 Expiration Date of License or Certification: _____ Inspection of Subject: <input checked="" type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None Inspection of Subject: <input type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None Date of Inspection: 05/19/2025 Date of Inspection: _____ | |

ADDITIONAL COMMENTS

File No. 25050236

| | | | | | | |
|------------------|-----------------|--------|-------|-------|----|----------------|
| Borrower | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code 52722 |
| Lender/Client | Ms. Karen Hayes | | | | | |

As of the effective date, the short and long-term impact on the market from the COVID-19 virus is unknown; however, it is reasonable to assume that current restrictions in market activity due to the virus could extend marketing times at least 60 days beyond the current levels. This assumption has been taken into consideration with regards to the estimate of reasonable exposure time. At this time, the appraiser assumes that there is not a delay in market activity, there has been a slight shift in short-term supply and demand which could result in a change in market prices. These are considered to be extraordinary assumptions which, if proven false, could impact the opinions and conclusions expressed herein.

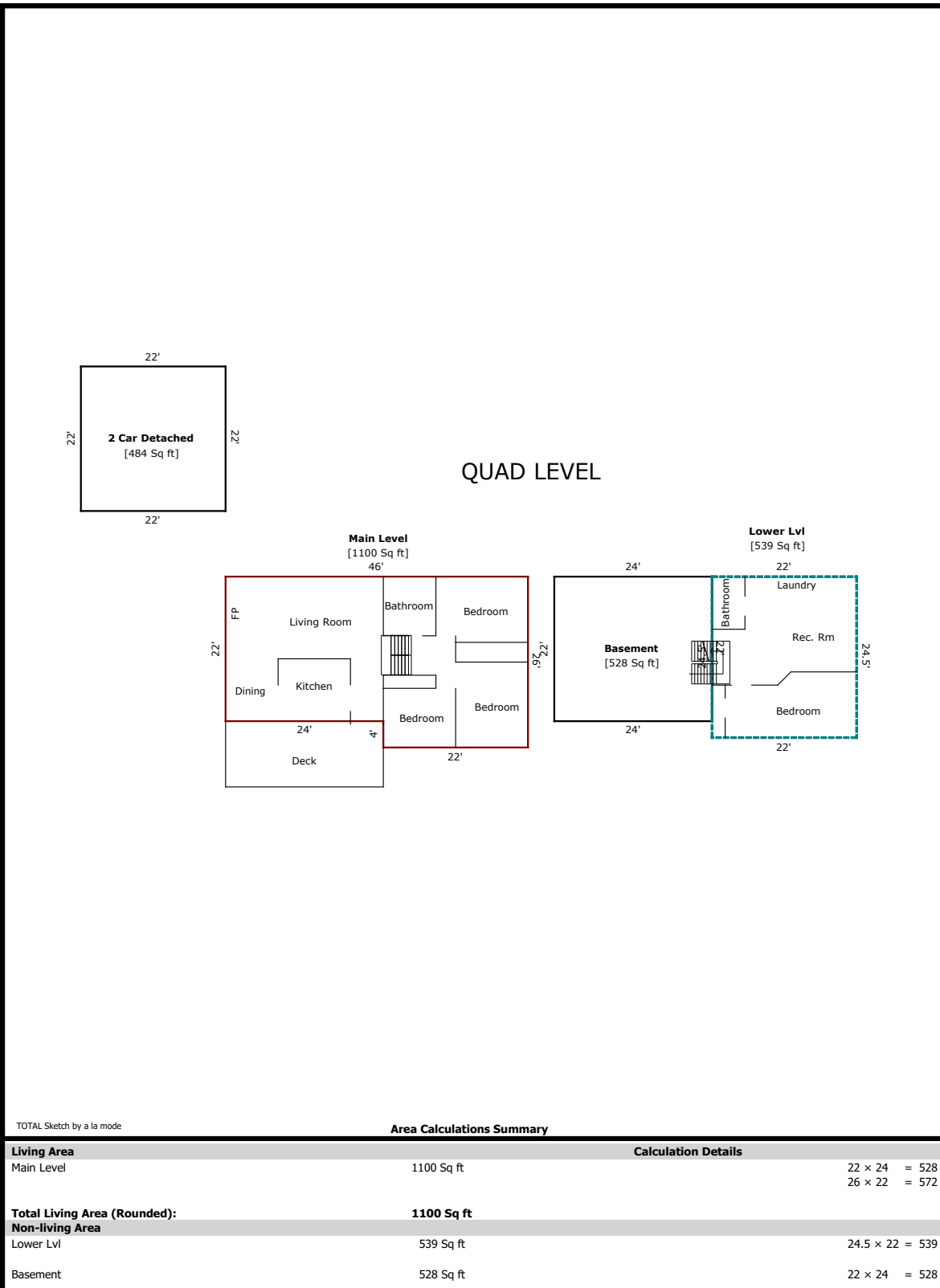
The comments by the licensed real estate appraiser contained within this appraisal report on the condition of the property do not address ""standards of practice"" as defined in the Home Inspector License Act[225 ILCS 441] and 68 Ill. Adm. Code1410 and are not to be considered a home inspection or home inspection report."

The appraiser adhered to the ANSI measuring standard Z765-2021.

(American National Standards Institute®) Measuring Standard for measuring, calculating, and reporting gross living area (GLA) and non-GLA areas of subject properties for appraisals requiring interior and exterior inspections with effective dates of April 1, 2022. The subject was measured to the inch or tenth of a foot.

Building Sketch

| | | | | | | | |
|------------------|-----------------|--------|-------|-------|----|----------|-------|
| Borrower | | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | Ms. Karen Hayes | | | | | | |



TOTAL Sketch by a la mode

Area Calculations Summary

| Living Area | Calculation Details | |
|-------------------------------------|---------------------|--------------------------------|
| Main Level | 1100 Sq ft | 22 × 24 = 528 26 × 22 = 572 |
| Total Living Area (Rounded): | 1100 Sq ft | |
| Non-living Area | | |
| Lower Lvl | 539 Sq ft | 24.5 × 22 = 539 |
| Basement | 528 Sq ft | 22 × 24 = 528 |

Location Map

| | | | | | | |
|------------------|-----------------|--------|-------|-------|----|----------------|
| Borrower | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code 52722 |
| Lender/Client | Ms. Karen Hayes | | | | | |



Flood Map

| | | | | | | | | |
|------------------|-----------------|--|--------|-------|-------|----|----------|-------|
| Borrower | | | | | | | | |
| Property Address | 1112 Parkway Dr | | County | Scott | State | IA | Zip Code | 52722 |
| City | Bettendorf | | | | | | | |
| Lender/Client | Ms. Karen Hayes | | | | | | | |



Comparable Photo Page

| | | | | | | | |
|------------------|-----------------|--------|-------|-------|----|----------|-------|
| Borrower | | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | Ms. Karen Hayes | | | | | | |



Comparable 1

1120 Crestview Ct
 Prox. to Subject 0.03 miles NW
 Sale Price 185,000
 Gross Living Area 1,104
 Total Rooms 5
 Total Bedrooms 3
 Total Bathrooms 1
 Location Urban Avg
 View Residential
 Site 10018 (Irreg)
 Quality Vinyl Siding
 Age 66



Comparable 2

1136 Parkway Dr
 Prox. to Subject 0.08 miles NE
 Sale Price 200,000
 Gross Living Area 1,144
 Total Rooms 5
 Total Bedrooms 3
 Total Bathrooms 1
 Location Urban Avg
 View Residential
 Site 6,800 sf
 Quality Vinyl Siding
 Age 60

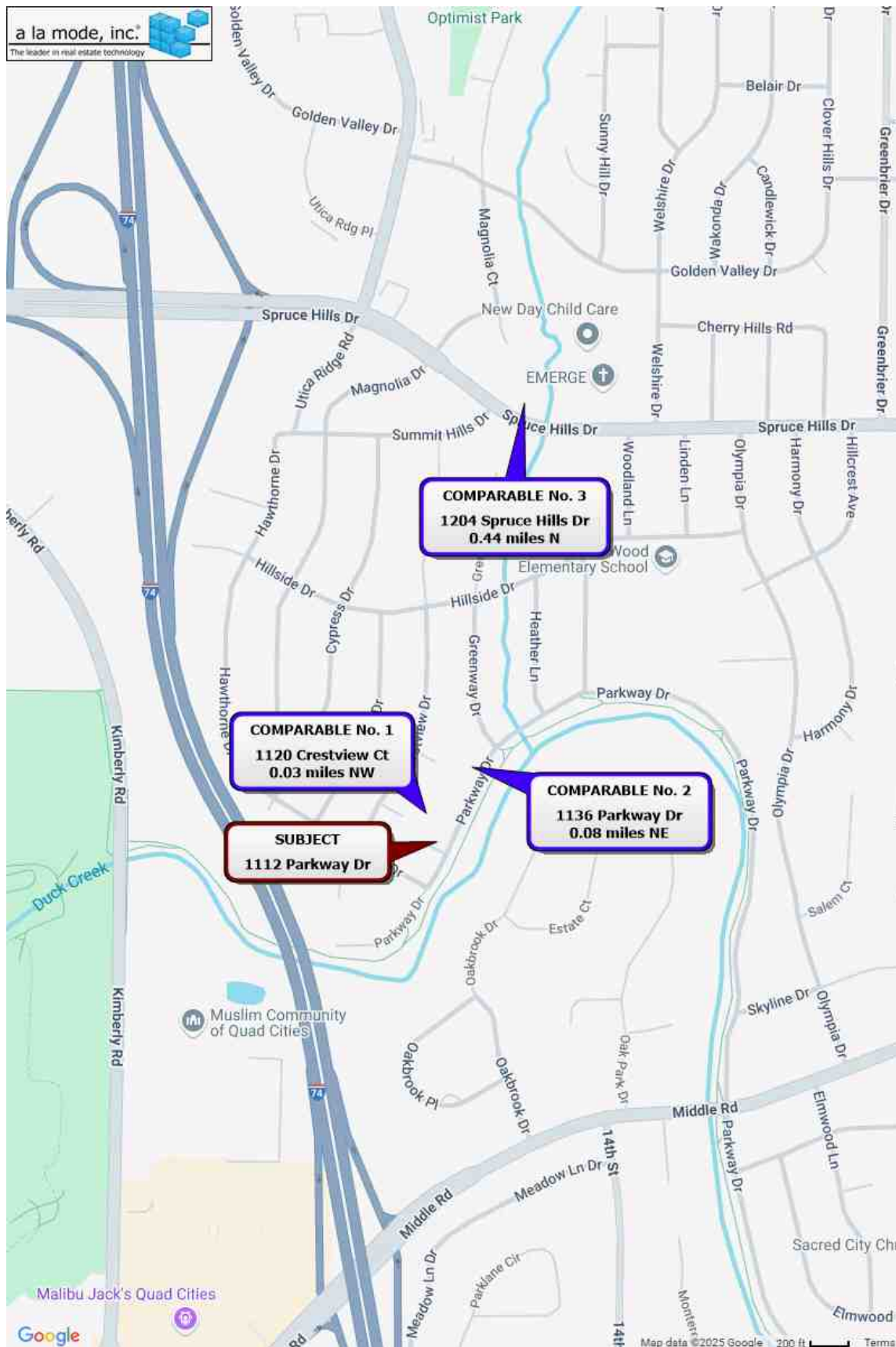


Comparable 3

1204 Spruce Hills Dr
 Prox. to Subject 0.44 miles N
 Sale Price 168,000
 Gross Living Area 936
 Total Rooms 5
 Total Bedrooms 3
 Total Bathrooms 1
 Location Urban Avg
 View Residential
 Site 8276 sf
 Quality Comp S.
 Age 60

Location Map

| | | | | | | | |
|------------------|-----------------|--------|-------|-------|----|----------|-------|
| Borrower | | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code | 52722 |
| Lender/Client | Ms. Karen Hayes | | | | | | |



Subject Photo Page

| | | | | | | | |
|------------------|-----------------|--------|-------|-------|----|----------------|--|
| Borrower | | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code 52722 | |
| Lender/Client | Ms. Karen Hayes | | | | | | |



Subject Front

1112 Parkway Dr
Sales Price
Gross Living Area 1,100
Total Rooms 5
Total Bedrooms 3
Total Bathrooms 1
Location Urban Avg
View Residential
Site 6,800 sf
Quality Masonite S
Age 61



Subject Rear



Subject Street

Photograph Addendum

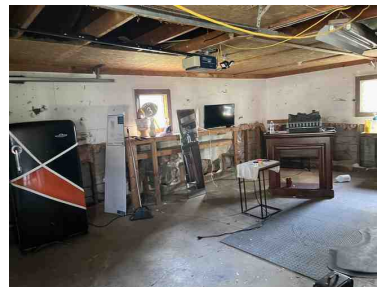
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|------------------|-----------------|--------|-------|-------|----|----------------|
| Borrower | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code 52722 |
| Lender/Client | Ms. Karen Hayes | | | | | |



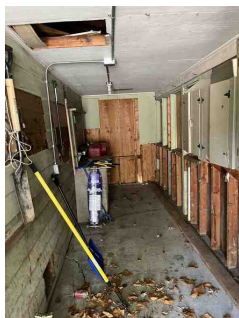
REAR / SIDE VIEW



DET. GARAGE



INTERIOR GARAGE



STORAGE AREA - GARAGE



KITCHEN



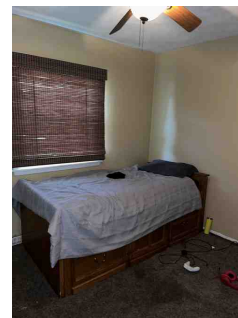
DINING



LIVING RM



LIVING RM



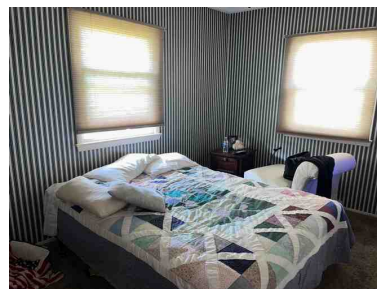
BEDROOM



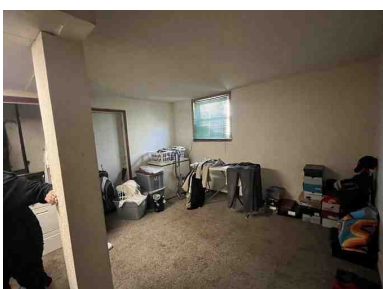
BEDROOM



BATHROOM



BEDROOM



REC. ROOM



BEDROOM - LWR



BATHROOM - LWR

Photograph Addendum

| | | | | | | |
|------------------|-----------------|--------|-------|-------|----|----------------|
| Borrower | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code 52722 |
| Lender/Client | Ms. Karen Hayes | | | | | |



MECHANICALS



UPDATED WATER HEATER



BASEMENT

DEFINITION OF MARKET VALUE: The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller, each acting prudently, knowledgeably and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby: (1) buyer and seller are typically motivated; (2) both parties are well informed or well advised, and each acting in what they consider their own best interests; (3) a reasonable time is allowed for exposure in the open market; (4) payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and (5) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions* granted by anyone associated with the sale. (Source: FDIC Interagency Appraisal and Evaluation Guidelines, 2010.)

* Adjustments to the comparables must be made for special or creative financing or sales concessions. No adjustments are necessary for those costs which are normally paid by sellers as a result of tradition or law in a market area; these costs are readily identifiable since the seller pays these costs in virtually all sales transactions. Special or creative financing adjustments can be made to the comparable property by comparisons to financing terms offered by a third party institutional lender that is not already involved in the property or transaction. Any adjustment should not be calculated on a mechanical dollar for dollar cost of the financing or concession but the dollar amount of any adjustment should approximate the market's reaction to the financing or concessions based on the appraiser's judgment.

STATEMENT OF LIMITING CONDITIONS AND CERTIFICATION

CONTINGENT AND LIMITING CONDITIONS: The appraiser's certification that appears in the appraisal report is subject to the following conditions:


1. The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it. The appraiser assumes that the title is good and marketable and, therefore, will not render any opinions about the title. The property is valued on the basis of it being under responsible ownership.
2. Any sketch provided in the appraisal report may show approximate dimensions of the improvements and is included only to assist the reader of the report in visualizing the property. The appraiser has made no survey of the property.
3. The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand, or as otherwise required by law.
4. Any distribution of valuation between land and improvements in the report applies only under the existing program of utilization. These separate valuations of the land and improvements must not be used in conjunction with any other appraisal and are invalid if they are so used.
5. The appraiser has no knowledge of any hidden or unapparent conditions of the property or adverse environmental conditions (including the presence of hazardous waste, toxic substances, etc.) that would make the property more or less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied, regarding the condition of the property. The appraiser will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. This appraisal report must not be considered an environmental assessment of the subject property.
6. The appraiser obtained the information, estimates, and opinions that were expressed in the appraisal report from sources that he or she considers to be reliable and believes them to be true and correct. The appraiser does not assume responsibility for the accuracy of such items that were furnished by other parties.
7. The appraiser will not disclose the contents of the appraisal report except as provided for in the Uniform Standards of Professional Appraisal Practice, and any applicable federal, state or local laws.
8. The appraiser has based his or her appraisal report and valuation conclusion for an appraisal that is subject to satisfactory completion, repairs, or alterations on the assumption that completion of the improvements will be performed in a workmanlike manner.
9. The appraiser must provide his or her prior written consent before the lender/client specified in the appraisal report can distribute the appraisal report (including conclusions about the property value, the appraiser's identity and professional designations, and references to any professional appraisal organizations or the firm with which the appraiser is associated) to anyone other than the borrower; the mortgagee or its successors and assigns; the mortgage insurer; consultants; professional appraisal organizations; any state or federally approved financial institution; or any department, agency, or instrumentality of the United States or any state or the District of Columbia; except that the lender/client may distribute the property description section of the report only to data collection or reporting service(s) without having to obtain the appraiser's prior written consent. The appraiser's written consent and approval must also be obtained before the appraisal can be conveyed by anyone to the public through advertising, public relations, news, sales, or other media.
10. The appraiser is not an employee of the company or individual(s) ordering this report and compensation is not contingent upon the reporting of a predetermined value or direction of value or upon an action or event resulting from the analysis, opinions, conclusions, or the use of this report. This assignment is not based on a required minimum, specific valuation, or the approval of a loan.

CERTIFICATION: The appraiser certifies and agrees that:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. Unless otherwise indicated, I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
4. Unless otherwise indicated, I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
5. I have no bias with respect to the property that is the subject of this report or the parties involved with this assignment.
6. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.
9. Unless otherwise indicated, I have made a personal inspection of the interior and exterior areas of the property that is the subject of this report, and the exteriors of all properties listed as comparables.
10. Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification (if there are exceptions, the name of each individual providing significant real property appraisal assistance is stated elsewhere in this report).

ADDRESS OF PROPERTY ANALYZED: 1112 Parkway Dr, Bettendorf, IA 52722

APPRAISER:

Signature: 
 Name: Christopher D Adams
 Title: Certified Real Estate Appraiser
 State Certification #: CR02415
 or State License #:
 State: IA Expiration Date of Certification or License: 06/30/2026
 Date Signed: 05/23/2025

SUPERVISORY or CO-APPRAISER (if applicable):

Signature: _____
 Name: _____
 Title: _____
 State Certification #: _____
 or State License #: _____
 State: _____ Expiration Date of Certification or License: _____
 Date Signed: _____
 Did Did Not Inspect Property

LICENSES - IOWA

| | | | | | | |
|------------------|-----------------|--------|-------|-------|----|----------------|
| Borrower | | | | | | |
| Property Address | 1112 Parkway Dr | | | | | |
| City | Bettendorf | County | Scott | State | IA | Zip Code 52722 |
| Lender/Client | Ms. Karen Hayes | | | | | |



This is to certify that the below named has been granted a certification as:
Certified Residential Appraiser.

Certification Number: CR02415 Expires: June 30, 2026

Status: Active

Mr. Christopher D Adams
Adams Appraisals, LLC
1812 Iowa St
Davenport, Iowa 52803

CAUTION

U.S. Department of
Housing and Urban
Development
Federal Housing Administration (FHA)



OMB Approval No: 2502-
0538 (exp. 04/30/2018)

For Your Protection: Get a Home Inspection

Why a Buyer Needs a Home Inspection

A home inspection gives the buyer more detailed information about the overall condition of the home prior to purchase. In a home inspection, a qualified inspector takes an in-depth, unbiased look at your potential new home to:

- Evaluate the physical condition: structure, construction, and mechanical systems; Identify items that need to be repaired or replaced; and
- Estimate the remaining useful life of the major systems, equipment, structure, and finishes.

You Must Ask for a Home Inspection

- A home inspection will only occur if you arrange for one. FHA does not perform a home inspection.
- Decide early. You may be able to make your contract contingent on the results of the inspection.

Appraisals are Different from Home Inspections

An appraisal is different from a home inspection and does not replace a home inspection. Appraisals estimate the value of the property for lenders. An appraisal is required to ensure the property is marketable. Home inspections evaluate the condition of the home for buyers.

FHA Does Not Guarantee the Value or Condition of your Potential New Home

If you find problems with your new home after closing, FHA cannot give or lend you money for repairs, and FHA cannot buy the home back from you. Ask a qualified home inspector to inspect your potential new home and give you the information you need to make a wise decision.

Radon Gas Testing and other safety/health issues

The United States Environmental Protection Agency and the Surgeon General of the United States have recommended that all houses should be tested for radon. For more information on radon testing, call the toll-free National Radon Information Line at 1-800-SOS-Radon or 1-800-767-7236.

Ask your home inspector about additional health and safety tests that may be relevant for your home.

Be an Informed Buyer

It is your responsibility to be an informed buyer. You have the right to carefully examine your potential new home with a qualified home inspector. To find a qualified home inspector ask for references from friends, realtors, local licensing authorities and organizations that qualify and test home inspectors.

HUD-92564-CN (6/14)

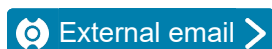
CAUTION

CAUTION

CAUTION

From: [Hunt, Mark](#)
To: [Fuhrman, Lisa](#)
Subject: FW: RE: RE: Appraisal Report: 1112 Parkway Dr, Bettendorf, IA, 52722
Date: Wednesday, May 28, 2025 11:22:56 AM
Attachments: [shield-advisory.png](#)
[chevron-light.png](#)

From: kshayes160 <kshayes160@gmail.com>
Sent: Wednesday, May 28, 2025 10:28 AM
To: Hunt, Mark <mhunt@bettendorf.org>
Subject: FW: RE: RE: Appraisal Report: 1112 Parkway Dr, Bettendorf, IA, 52722



I wish to appeal 2021 appraisal price of 133,000 to my new appraisal of 182,500

Sent from my Galaxy

----- Original message -----

From: "Hunt, Mark" <mhunt@bettendorf.org>
Date: 5/28/25 8:44 AM (GMT-06:00)
To: kshayes160 <kshayes160@gmail.com>
Cc: "Fuhrman, Lisa" <lfuhrman@bettendorf.org>
Subject: RE: RE: Appraisal Report: 1112 Parkway Dr, Bettendorf, IA, 52722

Karen,

For our records, please confirm by responding to this email that you wish to appeal your 2021 appraised value of \$133,000 with the 2025 amount of \$182,500.

Sincerely,

-MDH

From: kshayes160 <kshayes160@gmail.com>
Sent: Saturday, May 24, 2025 4:17 PM
To: Hunt, Mark <mhunt@bettendorf.org>
Subject: FW: RE: Appraisal Report: 1112 Parkway Dr, Bettendorf, IA, 52722

Sent from my Galaxy

----- Original message -----

From: kshayes160 <kshayes160@gmail.com>

Date: 5/24/25 2:54 PM (GMT-06:00)

To: adamsappraisalsqca@gmail.com

Subject: RE: Appraisal Report: 1112 Parkway Dr, Bettendorf, IA, 52722

Sent from my Galaxy

----- Original message -----

From: "Mercury Network on Behalf of adamsappraisalsqca@gmail.com"

<MercuryNetwork-17198856-1471540@ndr.mercuryvmp.com>

Date: 5/23/25 4:02 PM (GMT-06:00)

To: kshayes160@gmail.com

Subject: Appraisal Report: 1112 Parkway Dr, Bettendorf, IA, 52722

Delivery from:

Adams Appraisals

Powered by **Mercury Network**

[View Appraisal](#)

Your appraisal for 1112 Parkway Dr is ready. To protect the contents of the PDF and XML appraisal files, I've sent it through Mercury Network's DataCourier service.

ORDER SUMMARY

Subject Property: 1112 Parkway Dr
Bettendorf, IA 52722

Message from: Adams Appraisals

Thanks Karen

I hope you get things resolved with the City. Best of Luck

I'll be gone for the Holiday weekend, but email me if you have any questions.

Chris
ADAMS APPRAISALS

The appraisal files are available until: 08/21/2025

Learn more about [DataCourier](#).



COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: Kathleen Richlen, HR Director



Item Title

Resolution approving the Civil Service List submitted for the Parks Maintenance Laborer position in the Public Works Department

Explanation

Due to a voluntary resignation, the Parks Maintenance Laborer position is currently vacant. Staff conducted the recruitment process and received four (4) applications. Through the review of qualifications and interview process, Civil Service created a list of three (3) applicants.

The Civil Service List will be valid for one (1) year.

The Parks Maintenance Laborer position is a full-time union position with a current salary range of \$40,785 to \$59,646 annually.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

Budget contemplates the position.

List Attachments

Resolution
Civil Service List

RESOLUTION - 25

**RESOLUTION APPROVING THE CIVIL SERVICE LIST SUBMITTED
FOR THE PARKS MAINTENANCE LABORER POSITION IN THE
PUBLIC WORKS DEPARTMENT**

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa that the Civil Service List approved on May 27th, 2025 for the Parks Maintenance Laborer position is hereby approved.

PASSED, APPROVED and ADOPTED this 3rd of June, 2025.

Mayor Robert S. Gallagher

Attest:

City Clerk Decker P. Ploehn



May 27, 2025

The Honorable Mayor and Members of the City Council:

The Bettendorf Civil Service Commission certifies the following are eligible for the position of Parks Maintenance Laborer.

1. Dominic Bates
2. Kyle Freisinger
3. Greg Manley

This certified list will expire May 26, 2026.

Respectfully,

A handwritten signature in blue ink, appearing to read "Jean Dickson".

Jean Dickson
Civil Service Commissioner

A handwritten signature in blue ink, appearing to read "Matthew Debisschop".

Matthew Debisschop
Civil Service Commissioner

COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: Kathleen Richlen, HR Director



Item Title

Resolution approving the Civil Service List submitted for the Sanitation Worker position in the Public Works Department

Explanation

Due to a voluntary resignation, the Sanitation Worker position is vacant. Staff conducted the recruitment process and received twenty-one (21) applications. Through the review of qualifications, written test, practical test and interview process, Civil Service created a list of one (1) applicant.

The Civil Service List will be valid for one (1) year.

The Sanitation Worker position is a full-time union position with a current salary range of \$47,893 to \$70,046 annually.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

Budget contemplates the position.

List Attachments

Resolution
Civil Service List

RESOLUTION - 25

**RESOLUTION APPROVING THE CIVIL SERVICE LIST SUBMITTED
FOR THE SANITATION WORKER POSITION IN THE
PUBLIC WORKS DEPARTMENT**

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa that the Civil Service List approved on May 27th, 2025 for the Sanitation Worker position is hereby approved.

PASSED, APPROVED and ADOPTED this 3rd of June, 2025.

Mayor Robert S. Gallagher

Attest:

City Clerk Decker P. Ploehn



May 27, 2025

The Honorable Mayor and Members of the City Council:

The Bettendorf Civil Service Commission certifies the following are eligible for the position of Sanitation Worker.

1. Josh Van Sant

This certified list will expire May 26, 2026.

Respectfully,

A handwritten signature in blue ink, appearing to read "Jean Dickson".

Jean Dickson
Civil Service Commissioner

A handwritten signature in blue ink, appearing to read "Matthew Debisschop".

Matthew Debisschop
Civil Service Commissioner

COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: Kathleen Richlen, HR Director



Item Title

Resolution approving the Civil Service List submitted for the Police Captain position in the Police Department

Explanation

Due to a voluntary resignation, the police captain position is currently vacant. Staff conducted the recruitment process to create a civil service list. Staff received two internal applicants. Through review of qualifications and civil service interview, the Civil Service Commissioners created a list of two (2) applicants.

The Civil Service List will be valid for two (2) years.

The Police Captain position is a full time non union management position with a salary range of \$91,227 to \$146,109 annually.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

Budget contemplates the position.

List Attachments

Resolution
Civil Service List

RESOLUTION - 25

**RESOLUTION APPROVING THE CIVIL SERVICE LIST SUBMITTED FOR
THE POLICE CAPTAIN POSITION IN THE POLICE DEPARTMENT**

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa that the Civil Service List approved on May 29, 2025 for the Police Captain position is hereby approved.

PASSED, APPROVED and ADOPTED this 3rd of June, 2025.

Mayor Robert S. Gallagher

Attest:

City Clerk Decker P. Ploehn



May 29, 2025

The Honorable Mayor and Members of the City Council:

The Bettendorf Civil Service Commission certifies the following are eligible for the position of Police Captain – Bettendorf Police Department.

1. Andrew Champion
2. Brian Crouch

This certified list will expire May 28, 2027.

Respectfully,

Ralph W. Heninger
Civil Service Commissioner

Jegan Z. Dickson
Civil Service Commissioner

COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: Kathleen Richlen, HR Director



Item Title

Resolution approving the Civil Service List submitted for the Lieutenant position in the Police Department

Explanation

Due to a promotion, the Lieutenant position is vacant. Currently, there is no active and valid Civil Service List. Staff conducted the recruitment process and received nine (9) internal applicants. Through the review of qualifications and civil service interview, a civil service list was created of six (6) applicants.

The Civil Service List will be valid for two (2) years.

The Police Lieutenant position is a full-time non-union management position with a current salary of \$80,706 to \$129,258 annually.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

Budget contemplates the position.

List Attachments

Resolution
Civil Service List

RESOLUTION - 25

**RESOLUTION APPROVING THE CIVIL SERVICE LIST SUBMITTED FOR
THE POLICE LIEUTENANT POSITION IN THE POLICE DEPARTMENT**

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa that the Civil Service List approved on May 29, 2025 for the Police Lieutenant position is hereby approved.

PASSED, APPROVED and ADOPTED this 3rd of June, 2025.

Mayor Robert S. Gallagher

Attest:

City Clerk Decker P. Ploehn



May 29, 2025

The Honorable Mayor and Members of the City Council:

The Bettendorf Civil Service Commission certifies the following are eligible for the position of Police Lieutenant – Bettendorf Police Department.

1. Jeff Buckles
2. Zach Thomas
3. Patrick Mesick
4. Matt Poirier
5. Kevin Hopkins
6. Josh Paul

This certified list will expire May 28, 2027.

Respectfully,

A handwritten signature in blue ink that reads "Ralph W. Heninger".

Ralph W. Heninger
Civil Service Commissioner

A handwritten signature in blue ink that reads "Jean Z. Dickson".

Jean Z. Dickson
Civil Service Commissioner

COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: John Byrnes, Parks and Recreation
Director



Item Title

- Resolution approving Catherine Duda and Katherine Roberts to the City of Bettendorf's Park Advisory Board.

Explanation

- Catherine Duda's 2nd term on the City of Bettendorf's Park Advisory Board will expire June 30, 2025.
- Katherine Roberts was appointed to the City of Bettendorf's Park Advisory Board on March 5, 2024, to fulfill Patrick Larkin's term which expires June 30, 2025.
- Both members have expressed a desire to continue to serve the City of Bettendorf as a member of the Park Advisory Board.
- Staff requests that the City Council confirm these appointments.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments

- Resolution

RESOLUTION _____ - 25

**RESOLUTION REAPPOINTING CATHERINE DUDA AND KATHERINE ROBERTS TO
THE CITY OF BETTENDORF'S PARK ADVISORY BOARD**

WHEREAS, the term on the Park Advisory Board for Catherine Duda and Katherine Roberts will expire on June 30, 2025; and

WHEREAS, it is the desire of the Council to reappoint said members.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that the mayoral appointments of Catherine Duda and Katherine Roberts to the Park Advisory Board are hereby reaffirmed for a three-year term beginning July 1, 2025, and ending June 30, 2028.

PASSED, APPROVED, AND ADOPTED this 3rd day of June, 2025.

Mayor Robert S. Gallagher

ATTEST:

Decker P. Ploehn, City Clerk

COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: Michelle Spencer, Sr. Admin. Assistant



Item Title

Resolution approving annual and/or special event mobile food unit licenses.

Explanation

The Licensing of mobile food units contribute to the mission of a growing, competitive business environment. The applicant for Sweet Shardae, Smokin Goodness, and Bragg BBQ have submitted the necessary documentation to issue the respective license and/or permits as required by City of Bettendorf's City Code, Title 3, Chapter 13.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments

- Resolution

**RESOLUTION APPROVING ANNUAL AND/OR SPECIAL
EVENT MOBILE FOOD UNIT LICENSES**

WHEREAS, the City Council of the City of Bettendorf, Iowa has received application for the following mobile food unit requests:

Annual licenses for Sweet Sharda and Smokin Goodness, and a special event license for Bragg BBQ (John Deere Event July 26)

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that pursuant to Bettendorf City Code, Title 3, Chapter 13, the aforementioned renewals and/or requests is hereby approved.

PASSED, APPROVED AND ADOPTED this 3rd day of June, 2025

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: Michelle Spencer, Sr. Admin. Assistant



Item Title

Resolution approving Tobacco Retailer Permits and Device Retailer Permit(s).

Explanation

Local retailers have properly applied for a Tobacco Retailer Permit through the State of Iowa as required by Iowa Code Chapter 453A. Upon the city's approval, the state will issue the respective permits.

During the 2024 legislative session, the Iowa Legislature enacted Senate File 345, which regulates and taxes the sale of certain devices effective January 1, 2025. Per the legislation, a "device" is defined as any equipment or product, made in whole or in part of glass or metal, that is designed for use in inhaling through combustion tobacco, hemp, other plant materials, or a controlled substance. Based on this legislation, local retailer(s) have properly applied for a Device Retailer Permit through the State of Iowa as required by Iowa Code Chapter 453E. Upon the city's approval, the state will issue the respective permit(s).

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments

- Resolution

**RESOLUTION APPROVING TOBACCO RETAILER PERMITS
AND DEVICE RETAILER PERMIT(S)**

WHEREAS, the City Council of the City of Bettendorf, Iowa have received applications for a tobacco retailer permit from Big 10 Mart (Middle Rd), Big 10 Mart (53rd Ave), Casey's, Dollar General (State St), Dollar General (Spruce Hills Dr), Fareway, HP Fuels, Hy-Vee Food Store, Hy-Vee Fast & Fresh, Isle of Capri, Jon Waddell Golf Shop, Kwik Star (2283 53rd Ave), Kwik Star (Belmont Rd), Kwik Star (Middle Rd), Kwik Star (Utica Ridge Pl), Kwik Star (5007 53rd Ave), QC Mart (18th St), QC Mart (Central Ave), QC Mart (Grant St), State Food Mart, Tobacco Outlet Plus, VIP Tobacco & Vape, Walgreens (3425 Middle Rd), Walgreens (830 Middle Rd), and X-Golf.

WHEREAS, the City Council of the City of Bettendorf, Iowa has received an application for a device retailer permit from VIP Tobacco and Vape.

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that pursuant to Iowa Code Chapter 453A and 453E the aforementioned requests are hereby approved.

BE IT FURTHER RESOLVED that the City Clerk is directed to certify to the Iowa Department of Revenue, Tobacco Licensing Division, the City Council's approval of said applications.

PASSED, APPROVED AND ADOPTED this 3rd day of June, 2025.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

COUNCIL LETTER

MEETING DATE: June 3, 2025

REQUESTED BY: Michelle Spencer, Sr. Admin. Assistant



Item Title

Resolution approving alcohol license renewals and requests.

Explanation

The Licensing of businesses contribute to the mission of a growing, competitive business environment. The applicants for Clarion Pointe, Hy-Vee Club Room, Hy-Vee Fast & Fresh, Walgreens #05512 (3425 Middle Rd), Walgreens #06553 (830 Middle Rd), Desi Monk's, and Ray's Roundabout Lounge have submitted the necessary documentation to issue the respective license and/or permits as required by the State of Iowa.

A criminal history background check has been requested and/or conducted.

The Bettendorf Fire Department has determined that the applicants are in compliance with federal, state, and local requirements.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments

- Resolution

**RESOLUTION APPROVING ALCOHOL LICENSE RENEWALS
AND REQUESTS**

WHEREAS, the City Council of the City of Bettendorf, Iowa has received application for the following alcohol license renewals and/or requests:

License renewal(s) for Clarion Pointe, Hy-Vee Club Room, Hy-Vee Fast & Fresh, Walgreens #05512 (3425 Middle Rd), and Walgreens #06553 (830 Middle Rd), and new licenses for Desi Monk's and Ray's Roundabout Lounge

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that pursuant to Iowa Code Chapter 123 the applications be approved; and

BE IT FURTHER RESOLVED that the City Clerk is herewith directed to certify to the Iowa Department of Commerce, Alcoholic Beverages Division, the City Council's approval of said applications.

PASSED, APPROVED AND ADOPTED this 3rd day of June, 2025

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

Bettendorf City Council AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project |
|-------------------------------------|------------|---------|--------------|------------------------|--|------------------|--------------|----------------------------------|-----------------|---------------------------|
| EUGENE BAILEY | 6/4/2025 | 130047 | 5/27/2025 | 5272025 | REFUND FOR OVERPAYMENT FOR POLICE RECORDS PAYMENTS | 50.00 | General Fund | Balance Sheet | 1001-0000-20504 | |
| | | | | | | 50.00 | | Balance Sheet Total | | |
| EDMUND C GRABER | 6/4/2025 | 130045 | 5/27/2025 | Inv#052725 | Consulting Services for May 1-31, 2025 | 1,832.00 | General Fund | Mayor & Council | 1001-0101-55013 | |
| ACT II TRANSPORTATION, INC | 6/4/2025 | 130019 | 5/16/2025 | 54072 | Deposit for 2025 Citizen Academy County Bus Tour Bus | 385.00 | General Fund | Mayor & Council | 1001-0101-56007 | |
| GLASS BLAST | 5/28/2025 | 130000 | 5/16/2025 | 109111 | Recognition plaque for BHS State Wrestling Champions | 109.00 | General Fund | Mayor & Council | 1001-0101-56033 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 5/21/2025 | 129972 | 3/31/2025 | 1037175 | Buffet and Equipment Rental | 9,317.25 | General Fund | Mayor & Council | 1001-0101-56033 | State of the City |
| | | | | | | 11,643.25 | | Mayor & Council Total | | |
| VESTIS | 6/4/2025 | 130099 | 5/19/2025 | 6150547602 | first aid | 29.98 | General Fund | Finance | 1001-0202-56007 | |
| VESTIS | 6/4/2025 | 130099 | 5/26/2025 | 6150551033 | first aid | 29.98 | General Fund | Finance | 1001-0202-56007 | |
| | | | | | | 59.96 | | Finance Total | | |
| LOGO PRO, LLC | 5/21/2025 | 129980 | 5/15/2025 | 26964 | INV 26964 - Police Stress Balls | 582.02 | General Fund | Police | 1001-0301-56007 | |
| IOWA LAW ENFORCEMENT ACADEMY | 5/21/2025 | 129971 | 3/25/2025 | 329317 | Defensive Tactics Instructor - Broders and Schwarz | 300.00 | General Fund | Police | 1001-0310-53003 | |
| IOWA DEPARTMENT OF TRANSPORTATION | 5/28/2025 | 130003 | 3/3/2025 | CI-0021927 | Patrol In-Car Printer Paper | 737.50 | General Fund | Police | 1001-0311-56007 | |
| RAY O'HERRON CO.INC. | 6/4/2025 | 130084 | 4/9/2025 | 2409746 | Uniforms for Sandon, Davis, Acaster, and Vest for Crouch | 2,245.60 | General Fund | Police | 1001-0311-52009 | |
| RAY O'HERRON CO.INC. | 6/4/2025 | 130084 | 5/2/2025 | 2409291 | Uniforms for Sandon, Davis, Acaster, and Vest for Crouch | 2,475.35 | General Fund | Police | 1001-0311-52009 | |
| RAY O'HERRON CO.INC. | 5/21/2025 | 129989 | 5/5/2025 | 2409620 | Badges | 879.63 | General Fund | Police | 1001-0311-52009 | |
| RAY O'HERRON CO.INC. | 6/4/2025 | 130084 | 5/7/2025 | 2410200 | New Hire - Acaster | 108.79 | General Fund | Police | 1001-0311-52009 | |
| HUMANE SOCIETY OF SCOTT COUNTY | 5/21/2025 | 129968 | 3/30/2025 | 1872 | Monthly Service - Jan | 4,072.12 | General Fund | Police | 1001-0315-55081 | |
| HUMANE SOCIETY OF SCOTT COUNTY | 5/21/2025 | 129968 | 3/31/2025 | 1881 | Monthly Service - March | 4,072.12 | General Fund | Police | 1001-0315-55081 | |
| HUMANE SOCIETY OF SCOTT COUNTY | 5/21/2025 | 129968 | 4/1/2025 | 2282025 | Monthly Service - Feb | 4,072.12 | General Fund | Police | 1001-0315-55081 | |
| | | | | | | 19,545.25 | | Police Total | | |
| DIMENSIONAL GRAPHICS | 5/21/2025 | 129965 | 4/22/2025 | 108466 | Display Board | 483.00 | General Fund | Fire | 1001-0401-56007 | |
| LOGO PRO, LLC | 5/21/2025 | 129980 | 5/16/2025 | 26966 | INV 26966 Fire Stress Balls | 241.45 | General Fund | Fire | 1001-0401-56007 | |
| LEGACY FIRE APPARATUS | 6/4/2025 | 130066 | 5/20/2025 | INV-20497 | Pump Repair/E1 | 1,191.60 | General Fund | Fire | 1001-0411-54004 | |
| ADEL WHOLESALERS, INC. | 5/21/2025 | 129962 | 2/6/2025 | 2149886 | Pump Flange Gaskets | 26.31 | General Fund | Fire | 1001-0415-54001 | |
| JOHNSON CONTROLS SECURITY SOLUTIONS | 5/21/2025 | 129976 | 5/16/2025 | 41036840 | Alarm Monitoring Service/ST2 | 880.15 | General Fund | Fire | 1001-0415-55081 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 5002 CROW CREEK RD FIRE STATION 0520000014 | 1,198.25 | General Fund | Fire | 1001-0415-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1933 SPRUCE HILLS FIRE STATION 1809077019 | 422.52 | General Fund | Fire | 1001-0415-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 24495 VALLEY DR PLES VAL FIRE DEPT 2768069013 | 181.30 | General Fund | Fire | 1001-0415-54008 | |
| PS3 ENTERPRISES, INC | 5/21/2025 | 129985 | 5/13/2025 | 178768 | null | 110.00 | General Fund | Fire | 1001-0415-55081 | |
| THYMET PEST CONTROL | 5/21/2025 | 129991 | 5/14/2025 | 155301 | Monthly Service/ST2 | 58.00 | General Fund | Fire | 1001-0415-55081 | |
| | | | | | | 4,792.58 | | Fire Total | | |
| DAVENPORT ELECTRIC CONTRACT | 6/4/2025 | 130038 | 5/12/2025 | 57365 | Installing floats for pump station | 1,714.00 | General Fund | Public Works | 1001-0522-56007 | |
| DOORS INC. | 6/4/2025 | 130041 | 5/12/2025 | 361169 | Duplicate Keys | 41.00 | General Fund | Public Works | 1001-0525-54001 | Maint Ctr Maint FY24/25 |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Community CenterAlcoholics Anonymous 0948077018APR25 | 65.93 | General Fund | Public Works | 1001-0525-54008 | Com Ctr Main FY24/25 |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Community Center - Bldg 0969077019APR25 | 544.96 | General Fund | Public Works | 1001-0525-54008 | Com Ctr Main FY24/25 |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Pk Garage Pk Maintby PW building 2628077011APR25 | 203.88 | General Fund | Public Works | 1001-0525-54008 | Parks Bldg Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3800 HOPEWELL AV SIREN 0294104008 | 16.43 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 6405 CROW CREEKSPEED SIGN 0458134029 | 10.00 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 580 BELMONT RD SIREN 0874092000 | 11.54 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 6163 CROW CREEKSPEED SIGN 1109158001 | 10.00 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 6721 FOREST GROVE RDSPEED SIGN 1263125143 | 53.23 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1609 STATE ST UTILITIES 1410077011 | 3,165.30 | General Fund | Public Works | 1001-0525-54008 | City Hall Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 935 21ST ST STE 1 | 123.22 | General Fund | Public Works | 1001-0525-54008 | Maint Ctr Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2850 18TH - FAYE'S FIELD 1873064001 | 56.81 | General Fund | Public Works | 1001-0525-54008 | Library Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3311 CENTRAL AV SIREN 2340117004 | 18.65 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1730 18TH ST SPEED SIGN 2481112030 | 10.00 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 4403 DEVILS GLEN RD UTILITIES 2607077010 | 4,288.55 | General Fund | Public Works | 1001-0525-54008 | Maint Ctr Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 710 14TH ST SIREN 2649077012 | 18.65 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1423 HILLSIDE SIREN 3556024003 | 16.12 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3025 CENTRAL AVE SPEEDSIGN 4567141006 | 10.00 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1640 MISSISSIPPI BVSPEED SIGN 5177129000 | 10.00 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 5860 MIDDLE RD, AERATORS 5232147028 | 10.00 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2950 LEARNING CAMPUS DR UTILITIES 5563075014 | 5,175.01 | General Fund | Public Works | 1001-0525-54008 | Library Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1417 18TH ST SPEED SIGN 6555102004 | 10.00 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2518 18TH ST SPEED SIGN 6919127003 | 10.00 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1738 GRANT ST 9324072027 | 41.33 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2235 18TH ST SPEED SIGN 0227015128 | 10.17 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 5939 FOREST GROVE SPEED SIGN 0033042051 | 10.98 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |

Bettendorf City Council AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project |
|---------------------------|------------|---------|--------------|------------------------|---|----------|--------------|--------------|-----------------|---------------------------|
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 6160 FOREST GROVESIREN 0066118026 | 34.39 | General Fund | Public Works | 1001-0525-54008 | Other Bldgs Maint FY24/25 |
| CITY OF DAVENPORT | 6/4/2025 | 130031 | 4/2/2025 | 1337502 | compost chips | 410.00 | General Fund | Public Works | 1001-0572-56023 | |
| LIGHTING MAINTENANCE INC. | 6/4/2025 | 130067 | 5/7/2025 | 16636 | light repairs | 1,380.17 | General Fund | Public Works | 1001-0572-56023 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Optimist Park 6684072018APR25 | 10.00 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Kiwanis Park 7118127018APR25 | 27.29 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Forest Grove ParkShelter 7653169001APR25 | 25.58 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Eagles Landing Shelter 0045153004APR25 | 10.00 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Dog Park Lights 0322079001APR25 | 12.45 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Lincoln Park Splash Pad 0400125000APR25 | 13.75 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park DekHockey 0408058021APR25 | 168.22 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Middle Park Gazebo 0459012030APR25 | 11.39 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | 6000 Forest Grove Rd 0632145009APR25 | 19.20 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Pk Entrance RestroomAlcoa Grant Building 0763124005APR25 | 14.09 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park Lights Field 7 0839154004APR25 | 10.00 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Scheck Park Shelter &Security Lights 0927077017APR25 | 15.87 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | VMP Band Shell 1032077013APR25 | 27.84 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Park Lagoon North FountainHouse East Pole 1179077017APR25 | 36.10 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | DG Park Garage 1200077016APR25 | 177.18 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | DG Park Baseball Field 1221077017APR25 | 16.20 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | DG Park Stone House 1242077018APR25 | 84.27 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Leach Park 1263077019APR25 | 29.40 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Edgewood Park 1305077018APR25 | 19.20 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park Lights Field 5 1331090009APR25 | 17.26 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Riverfront Trail Lights 1363053047APR25 | 718.09 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park Lights 4 Plex 1368027009APR25 | 24.69 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Leach Park 1452077013APR25 | 14.32 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Street Lights Parks Dept 1746077019APR25 | 1,073.60 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | DG Park Archery Bldg 1767077010APR25 | 124.37 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Park Lagoon WarmingHouse Lights 1788077011APR25 | 48.34 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Meier Park 600 GrantStreet 1872077013APR25 | 19.20 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Bush Scenic Overlook 2031156000APR25 | 14.86 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park Lights Field 1 2040077019APR25 | 10.24 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park Shelter 3 andRR at Field 5 2061077010APR25 | 25.54 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park Irrigation andSoccer shelter 2082077011APR25 | 11.72 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | DG Park Shelter 1 2229077029APR25 | 10.65 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park 4Plex ParkingLot 2250077014APR25 | 14.49 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park Garage/PumpHouse 2271077015APR25 | 20.68 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | DG Shelter 1 2334077039APR25 | 10.83 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | DG Park Shelter 2 2355077023APR25 | - | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | DG Shelter 3 2355077078APR25 | 10.74 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | McManus Park 2418077016APR25 | 11.47 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Pk Dog Park Lights 2473159007APR25 | 28.68 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | McManus Park 2586077012APR25 | 18.33 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Centennial Garden 2843096000APR25 | 10.32 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Park Lagoon South FountainWest Pole 3207166036APR25 | 34.22 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Field Sike Park 3578121009APR25 | 10.90 | General Fund | Public Works | 1001-0572-54008 | |

Bettendorf City Council AP Disbursements - 06.03.25

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|------------------------------|------------|---------|--------------|------------------------|---|------------------|--------------|-------------------------------------|-----------------|-----------------------|
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Middle Pk PlaygroundShelter Lights 4755166000APR25 | 10.74 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park Dekhockey &Lights Fields 2&3 5076157007APR25 | 13.10 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | DG Park Restroom 5112101010APR25 | 17.01 | General Fund | Public Works | 1001-0572-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | CC Park ConcessionStand 5718088005APR25 | 31.03 | General Fund | Public Works | 1001-0572-54008 | |
| PETERSEN PLUMBING & HEATING | 6/4/2025 | 130079 | 5/7/2025 | 2799465 | Lincoln Park Splash Pad De-Winterizing | 672.55 | General Fund | Public Works | 1001-0572-54002 | |
| PPG ARCHITECTURAL FINISHES | 6/4/2025 | 130082 | 5/9/2025 | 945220003715 | Field Paint | 123.86 | General Fund | Public Works | 1001-0572-56025 | |
| PPG ARCHITECTURAL FINISHES | 6/4/2025 | 130082 | 5/15/2025 | 945220003761 | field paint | 123.86 | General Fund | Public Works | 1001-0572-56023 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178778 | outhouses - CCP - diamonds 2 & 3 | 57.47 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178775 | outhouses - MP playground | 57.47 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178773 | outhouses - CCP - diamond 1 | 57.47 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178780 | outhouses - Devils Glen Rd | 84.70 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178774 | outhouses - VMP | 84.70 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178781 | outhouses - Kiwanis park | 90.63 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178770 | outhouses - Centennial Garden | 94.05 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178777 | outhouses - McManus park | 138.60 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178776 | outhouses - 21st St Athletic fields | 151.52 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178771 | outhouses - CC Park soccer | 151.52 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178772 | outhouses - CCP - dekhockey | 253.55 | General Fund | Public Works | 1001-0572-55081 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178769 | outhouses - PHGC | 508.20 | General Fund | Public Works | 1001-0572-55081 | |
| SITONE LANDSCAPE SUPPLY, LLC | 6/4/2025 | 130091 | 5/15/2025 | 153571178-001 | parts | 68.30 | General Fund | Public Works | 1001-0572-56023 | |
| | | | | | | 23,282.22 | | Public Works Total | | |
| LOGO PRO, LLC | 6/4/2025 | 130068 | 5/22/2025 | 26969 | Parks & Rec polos & pullovers | 438.50 | General Fund | Parks & Recreation | 1001-0701-53004 | |
| JEFFREY VAN DER EEMS | 5/21/2025 | 129974 | 4/30/2025 | 250501B | Group Pickleball Lesson Instruction | 162.50 | General Fund | Parks & Recreation | 1001-0703-55081 | Pickleball-Vandereems |
| DAN PATRICK LLC | 6/4/2025 | 130036 | 2/28/2025 | 250228 | summer tennis lessons payable for February | 6,150.00 | General Fund | Parks & Recreation | 1001-0703-55081 | Summer Tennis Lessons |
| DAN PATRICK LLC | 6/4/2025 | 130036 | 3/31/2025 | 250331 | tennis lesson payables for March | 7,101.00 | General Fund | Parks & Recreation | 1001-0703-55081 | Summer Tennis Lessons |
| DAN PATRICK LLC | 6/4/2025 | 130036 | 4/30/2025 | 250430 | tennis lesson payables for April | 7,703.25 | General Fund | Parks & Recreation | 1001-0703-55081 | Summer Tennis Lessons |
| ONMEDIA | 6/4/2025 | 130078 | 5/2/2025 | 611046 | April & May SEM for Parks & Recreation | 600.00 | General Fund | Parks & Recreation | 1001-0703-55002 | |
| VESTIS | 6/4/2025 | 130099 | 5/12/2025 | 6150544116 | First Aid Service | 29.98 | General Fund | Parks & Recreation | 1001-0705-56010 | |
| CORN CRIB NURSERY | 6/4/2025 | 130033 | 5/13/2025 | 5494 | 2025 Downtown Landscape Planting & Maintenance | 7,350.00 | General Fund | Parks & Recreation | 1001-0712-55081 | |
| CORN CRIB NURSERY | 6/4/2025 | 130033 | 5/20/2025 | 5502 | 2025 Downtown Landscape Planting & Maintenance - CH | 6,230.00 | General Fund | Parks & Recreation | 1001-0712-55081 | |
| FISHER LAWN CARE | 5/22/2025 | 129992 | 5/5/2025 | 33477 | 2025 Turf Maintenance for City Facilities - chemical app 4/30 & | 530.00 | General Fund | Parks & Recreation | 1001-0712-55081 | |
| FISHER LAWN CARE | 5/22/2025 | 129992 | 5/5/2025 | 33476 | 2025 Turf Maintenance for City Facilities - Mowing 4/19 & 4/26 | 700.00 | General Fund | Parks & Recreation | 1001-0712-55081 | |
| FISHER LAWN CARE | 5/22/2025 | 129992 | 5/5/2025 | 33479 | 2025 Citywide Landscape Planting & Maintenance Program - May | 1,500.00 | General Fund | Parks & Recreation | 1001-0712-55081 | |
| FISHER LAWN CARE | 5/22/2025 | 129992 | 5/5/2025 | 33478 | 2025 Citywide Landscape Planting & Maintenance Program - May | 4,800.00 | General Fund | Parks & Recreation | 1001-0712-55081 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | The Landing Bldg A/Aquatic Park 0719018127APR25 | 507.34 | General Fund | Parks & Recreation | 1001-0730-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | The Landing Bldg D - Pool Pumphouse 4223031005APR25 | - | General Fund | Parks & Recreation | 1001-0730-54008 | |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Temp 4th of July 8183122001APR25 | 10.00 | General Fund | Parks & Recreation | 1001-0740-54008 | 4th Of July |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | Temp III 4th of July 8803133008APR25 | - | General Fund | Parks & Recreation | 1001-0740-54008 | 4th Of July |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | 4th of July 0207029002APR25 | - | General Fund | Parks & Recreation | 1001-0740-54008 | 4th Of July |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | 4th of July 4385143004APR25 | 10.00 | General Fund | Parks & Recreation | 1001-0740-54008 | 4th Of July |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | 4th of July 4683007002APR25 | - | General Fund | Parks & Recreation | 1001-0740-54008 | 4th Of July |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | 4th of July 6523111018APR25 | - | General Fund | Parks & Recreation | 1001-0740-54008 | 4th Of July |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2513 18th st 2783157001 | 10.00 | General Fund | Parks & Recreation | 1001-0740-56007 | 4th Of July |
| | | | | | | 43,832.57 | | Parks & Recreation Total | | |
| CULLIGAN OF DAVENPORT | 6/4/2025 | 130034 | 5/9/2025 | 547510 | BOTTLED WATER | 38.35 | General Fund | Community Development | 1001-3001-56006 | |
| RDG PLANNING & DESIGN, INC. | 5/21/2025 | 129990 | 3/31/2025 | 58806 | SERVICES THROUGH 12/31/24 DEVELOPMENT REGULATIONS | 1,250.00 | General Fund | Community Development | 1001-3002-55072 | |
| SCOTT COUNTY RECORDER | 6/4/2025 | 130090 | 4/16/2025 | 4043596 | RECORD WELLS FERRY ROAD AREA ANNEXATION DOCUMENTS | 307.00 | General Fund | Community Development | 1001-3002-55005 | |
| KIMBERLY'S KLEANING | 5/21/2025 | 129978 | 3/31/2025 | 45747 | SPRING CLEANUP | 1,850.00 | General Fund | Community Development | 1001-3003-55081 | |
| KIMBERLY'S KLEANING | 5/21/2025 | 129978 | 5/6/2025 | 3403-506 | 3403 OVERLAND DR | 38.25 | General Fund | Community Development | 1001-3003-55081 | |
| KIMBERLY'S KLEANING | 5/21/2025 | 129978 | 5/6/2025 | 45783 | MOW FLOOD LOTS (33) | 1,262.25 | General Fund | Community Development | 1001-3003-55081 | |
| KIMBERLY'S KLEANING | 6/4/2025 | 130064 | 5/14/2025 | 1950-514 | 1950 - 14TH ST | 114.75 | General Fund | Community Development | 1001-3003-55081 | |
| KIMBERLY'S KLEANING | 6/4/2025 | 130064 | 5/16/2025 | 3403-516 | 3403 OVERLAND DR | 38.25 | General Fund | Community Development | 1001-3003-55081 | |
| | | | | | 1303 DEVILS GLEN ROAD | | | | | |
| KIMBERLY'S KLEANING | 6/4/2025 | 130064 | 5/16/2025 | 1303-516 | LAWN CUT | 38.25 | General Fund | Community Development | 1001-3003-55081 | |
| KIMBERLY'S KLEANING | 6/4/2025 | 130064 | 5/16/2025 | 45793 | MOW FLOOD LOTS | 1,262.25 | General Fund | Community Development | 1001-3003-55081 | |

Bettendorf City Council AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project |
|--------------------------------|------------|---------|--------------|---------------------|--|-------------------|---------------------------|------------------------------------|-----------------|---------|
| KIMBERLY'S KLEANING | 6/4/2025 | 130064 | 5/17/2025 | 2505-517 | 2505 CODY ST DEBRIS REMOVAL | 155.00 | General Fund | Community Development | 1001-3003-55081 | |
| KIMBERLY'S KLEANING | 6/4/2025 | 130064 | 5/19/2025 | 1504-519 | 1504 - 14TH ST | 38.25 | General Fund | Community Development | 1001-3003-55081 | |
| LOGO PRO, LLC | 5/21/2025 | 129980 | 3/31/2025 | 26632 | LOGO POLO SHIRTS - SANDERSON | 152.50 | General Fund | Community Development | 1001-3003-56007 | |
| TONY PIERCE | 6/4/2025 | 130095 | 5/29/2025 | 052925 | 2025-26 IL PLUMBING CONTINUING ED ZOOM CLASS - SEPTEMBER 18, 2025 DANA BURKE | 100.00 | General Fund | Community Development | 1001-3006-53003 | |
| | | | | | | 6,645.10 | | Community Development Total | | |
| 3CMA | 5/21/2025 | 129960 | 5/9/2025 | 4763 | 3CMA Yearly Dues for Angie/Jay/Denice | 845.00 | General Fund | Economic Development | 1001-3501-53001 | |
| | | | | | | 845.00 | | Economic Development Total | | |
| BI-STATE REGIONAL COMMISSION | 5/21/2025 | 129963 | 5/6/2025 | 11506 | MAC Mtg 5/2/25 City Administrator DPloehn | 20.93 | General Fund | City Administration | 1001-4101-53004 | |
| CORRIDOR MEDIA GROUP | 5/21/2025 | 129964 | 5/9/2025 | 50925 | Yearly subscription QCBJ - Team Package | 720.00 | General Fund | City Administration | 1001-4101-53002 | |
| IMPERIAL | 5/21/2025 | 129969 | 5/7/2025 | 288002:549776 | Coffee Supplies for City Hall and PD | 57.55 | General Fund | City Administration | 1001-4101-56006 | |
| IMPERIAL | 5/28/2025 | 130002 | 5/21/2025 | 288002:555859 | Coffee supplies for City Hall & PD | 161.30 | General Fund | City Administration | 1001-4101-56006 | |
| NORTH SCOTT PRESS | 5/28/2025 | 130006 | 5/7/2025 | 50725 | 2 year subscription | 90.00 | General Fund | City Administration | 1001-4101-53002 | |
| QUAD CITY TIMES | 5/21/2025 | 129986 | 4/3/2025 | 200857 | Publish PH Not FY25/26 Proposed Budget | 127.30 | General Fund | City Administration | 1001-4102-55014 | |
| QUAD CITY TIMES | 5/21/2025 | 129986 | 4/11/2025 | 201562 | Publish City Council meeting minutes & bills 4/1/25 meeting | 332.10 | General Fund | City Administration | 1001-4102-55014 | |
| QUAD CITY TIMES | 5/21/2025 | 129986 | 4/26/2025 | 202121 | Publish City Council meeting minutes & bills 4/15/25 meeting | 409.59 | General Fund | City Administration | 1001-4102-55014 | |
| | | | | | | 1,918.77 | | City Administration Total | | |
| GENESIS PSYCHOLOGY ASSOCIATES | 6/4/2025 | 130051 | 4/3/2025 | 4032025 | Employee Testing | 1,200.00 | General Fund | Human Resources | 1001-4201-55013 | |
| KEATON CONNELL | 5/21/2025 | 129977 | 5/16/2025 | 5162025 | Keaton Connell - tuition reimbursement, Winter/Spring 2025 semester | 5,418.38 | General Fund | Human Resources | 1001-4201-53005 | |
| | | | | | | 6,618.38 | | Human Resources Total | | |
| | | | | | | 119,233.08 | General Fund Total | | | |
| | | | | | | 119,233.08 | | Grand Total | | |
| VESTIS | 6/4/2025 | 130099 | 5/14/2025 | 6150545602 | First Aid Supplies | 29.98 | Road Use Fund | Public Works | 2060-0501-56006 | |
| VESTIS | 6/4/2025 | 130099 | 5/21/2025 | 6150548626 | First Aid Supplies | 29.98 | Road Use Fund | Public Works | 2060-0501-56006 | |
| CULLIGAN OF DAVENPORT | 6/4/2025 | 130034 | 5/9/2025 | 547511 | Water | 44.20 | Road Use Fund | Public Works | 2060-0501-56006 | |
| IMPERIAL | 6/4/2025 | 130057 | 5/21/2025 | 288002:555867 | Coffee & Creamer | 114.80 | Road Use Fund | Public Works | 2060-0501-56006 | |
| CENTENNIAL CONTRACTOR OF QC | 6/4/2025 | 130029 | 5/19/2025 | 26240 | line pump at city hall for new generator pad | 864.00 | Road Use Fund | Public Works | 2060-0511-55081 | |
| HAHN READY MIX COMPANY | 5/28/2025 | 130001 | 5/9/2025 | 472872 | Concrete | 1,008.00 | Road Use Fund | Public Works | 2060-0511-56007 | |
| HAHN READY MIX COMPANY | 6/4/2025 | 130053 | 5/13/2025 | 473120 | Concrete | 322.00 | Road Use Fund | Public Works | 2060-0511-56007 | |
| LOGAN CONTRACTORS SUPPLY, INC. | 5/21/2025 | 129979 | 3/13/2025 | E74094A | union shovet | 37.39 | Road Use Fund | Public Works | 2060-0511-56007 | |
| PS3 ENTERPRISES, INC | 6/4/2025 | 130083 | 5/13/2025 | 178779 | outhouses - public works | 84.70 | Road Use Fund | Public Works | 2060-0511-55081 | |
| RIVERSTONE GROUP INC. | 6/4/2025 | 130086 | 5/13/2025 | 1383672 | upm mix | 345.00 | Road Use Fund | Public Works | 2060-0511-56007 | |
| RIVERSTONE GROUP INC. | 6/4/2025 | 130086 | 5/20/2025 | 1386198 | stock - rock | 205.62 | Road Use Fund | Public Works | 2060-0511-56007 | |
| RIVERSTONE GROUP INC. | 6/4/2025 | 130086 | 5/20/2025 | 1386197 | UPM mix | 208.50 | Road Use Fund | Public Works | 2060-0511-56007 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 566301853 | 2210 SPRUCE HILLS DR | 10.00 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 566306309 | 2218 SPRUCE HILLS DR | 10.00 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 566305616 | 2206 SPRUCE HILLS DR | 10.00 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 566260321 | 2226 SPRUCE HILLS DR | 13.84 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 566264026 | 2202 SPRUCE HILLS DR | 13.92 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 566265425 | 2222 SPRUCE HILLS DR | 14.09 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 566267377 | 2214 SPRUCE HILLS DR | 14.64 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 566270495 | 2201 MIDDLE RD | 37.09 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 566277768 | 2255 MIDDLE RD BLDG D | 120.10 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3801 DEVILS GLEN RD SIGNAL 0792135005 | 51.76 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 835 MIDDLE RD SIGNAL 0855064004 | 42.53 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1599 GRANT ST LIGHT CONTROLLER 0885152036 | 211.85 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1602 STATE ST SIGNALS 0955078004 | 37.59 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1602 GRANT ST STREET LIGHTS 0962160002 | 23.89 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2222 MIDDLE RD SIGNAL 1053077014 | 20.68 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 4505 UTICA RIDGE RD SIGNAL 1171111005 | 33.16 | Road Use Fund | Public Works | 2060-0530-54008 | |

Bettendorf City Council AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project |
|---------------------|------------|---------|--------------|---------------------|---|--------|---------------|--------------|-----------------|---------|
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 4801 DEVILS GLEN RD 1239129009 | 24.36 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3122 MIDDLE RD SIGNAL 1347077010 | 27.84 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 600 RIVER DR SIGNAL 1431077012 | 27.29 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1801 STATE ST SIGNAL 1494077015 | 25.58 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 401 26TH ST SIGNAL 1515077013 | 39.51 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3720 STATE ST SIGNAL 1578077016 | 51.92 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3550 STATE ST SIGNAL 1599077017 | 27.14 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1401 KIMBERLY RD SIGNAL 1638111009 | 32.09 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1140 MEADOW LN DR SIGNAL 1641077017 | 25.49 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 999 1/2 MIDDLE RD SIGNAL 1662077018 | 36.17 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 901 SPRUCE HILLS DR SIGNAL 1683077019 | 25.49 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3882 MIDDLE RD SIGNAL 1725077018 | 61.37 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3029 STATE ST SIGNAL 1830077011 | 8.68 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1000 MIDDLE RD SIGNAL 1893077014 | 44.74 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1800 MIDDLE RD SIGNAL 1914077012 | 36.75 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2010 SPRUCE HILLS DR SIGNAL 1935077013 | 52.88 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2002 MIDDLE RD SIGNAL 1956077014 | 16.04 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2420 MIDDLE RD SIGNAL 1977077015 | 37.09 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1515 SPRUCE HILLS DR SIGNAL 2103077019 | 26.47 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3200 UTICA RIDGE RD SIGNAL 2124077010 | 52.65 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1514 TANGLEFOOT LNSIGN 2163016038 | 10.00 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1405 GRANT ST SIGNAL 2217031004 | 10.00 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3301 DEVILS GLEN RD 2363131010 | 39.27 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2123 DEVILS GLEN RD SIGNAL 2460077019 | 43.11 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3323 18TH ST SIGNAL 2481077010 | 29.75 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2501 18TH ST SIGNAL 2502077018 | 17.74 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2901 18TH ST SIGNAL 2523077019 | 26.62 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 5293 DEVILS GLEN RD 2643072006 | 34.63 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1355 GRANT ST SIGNALS 2649005060 | 138.36 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 5220 18TH ST TRAFFIC LIGHT 2719143005 | 58.60 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 4605 MIDDLE RD SIGNAL 2796063007 | 45.55 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1201 GRANT ST SIGNAL 2901141022 | 29.94 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1413 GRANT STREET SIGNAL 3666140033 | 28.16 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1381 TANGLEFOOT LNSIGN 3683050001 | 10.00 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 4319 BELMONT RD SIGNAL 4304170001 | 23.52 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3430 E LOCUST ST DAV SIGNAL 4434078024 | 33.32 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 316 23RD ST SIGNAL 4503122047 | 44.98 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1700 STATE ST SIGNAL 4547102005 | 34.63 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 315 BELMONT RD CROSSWALKS 4623158003 | 10.90 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2044 GRANT ST SIGNAL 4861136001 | 32.50 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 405 17TH SIGNAL 5043087050 | 31.11 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1802 STATE ST TRAFFIC SIGNAL 5361111000 | 95.12 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1298 BROWN ST SIGNAL 5659149005 | 286.78 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 4261 MIDDLE RD SIGNAL 5699146002 | 43.68 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1493 MIDDLE RD CAMERA 5766100007 | 14.73 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2055 STATE ST SIGNAL 5800119002 | 90.88 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3420 MIDDLE RD SIGNAL 5953124003 | 35.27 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3780 UTICA RIDGE RD SIGNAL 5995115007 | 32.34 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2261 53RD AV SIGNAL 6667159008 | 42.06 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 4502 UTICA RIDGE RD SIGNAL 6683130009 | 60.40 | Road Use Fund | Public Works | 2060-0530-54008 | |

Bettendorf City Council AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project |
|-------------------------------------|------------|---------|--------------|---------------------|--|-------------------|------------------------------------|----------------------|-----------------|---------------------------|
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 4401 DEVILS GLEN RD SIGNAL 0215129008 | 24.36 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3744 18TH ST SIGNAL 0101045009 | 49.88 | Road Use Fund | Public Works | 2060-0530-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 431 17TH ST PARKING LOT 0336073059 | 47.98 | Road Use Fund | Public Works | 2060-0531-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | CITY WIDE STREET LIGHTING 1389077012 | 18,766.57 | Road Use Fund | Public Works | 2060-0531-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1170 STATE ST LED STREET LIGHTS 3483023003 | 39.51 | Road Use Fund | Public Works | 2060-0531-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 799 RIVER DR STREET LIGHT 3760028000 | 14.32 | Road Use Fund | Public Works | 2060-0531-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 199 22ND ST Lighting cabinet 3760028000 | 26.90 | Road Use Fund | Public Works | 2060-0531-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2300 STATE ST LIGHTS 5684139006 | 95.05 | Road Use Fund | Public Works | 2060-0531-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 320 15TH ST LIGHTS 0167073002 | 44.27 | Road Use Fund | Public Works | 2060-0531-54008 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000008 | 2026 International HV507 | 114,900.00 | Road Use Fund | Public Works | 2060-0580-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000008 | CO #1 | 11,942.00 | Road Use Fund | Public Works | 2060-0580-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129994 | 5/27/2025 | VA353000007B | International HV507 single axle plow truck chassis | 110,207.00 | Road Use Fund | Public Works | 2060-0580-57074 | |
| A CUT ABOVE LAWN AND LANDSCAPE | 6/4/2025 | 130018 | 5/23/2025 | 10112099 | 2025 ROW Mowing Zone 2 5/12 & 5/19 | 2,181.00 | Road Use Fund | Parks & Recreation | 2060-0708-55081 | |
| A CUT ABOVE LAWN AND LANDSCAPE | 6/4/2025 | 130018 | 5/23/2025 | 10112098 | 2025 ROW Mowing Zone 1 5/12 & 5/19 | 2,181.00 | Road Use Fund | Parks & Recreation | 2060-0708-55081 | |
| | | | | | | 266,592.65 | Road Use Fund Total | | | |
| HAMPTON CRANES, INC. | 5/21/2025 | 129967 | 5/19/2025 | 81984 | Crane Service/TC Install Conexwest Containers | 550.00 | Fire Donations | Fire | 2140-0410-56004 | |
| | | | | | | 550.00 | Fire Donations Total | | | |
| TARHEEL CANINE TRAINING | 6/4/2025 | 130093 | 5/28/2025 | 5282025 | Purchase of Canine and Training | 14,480.00 | Police Donations Fund | Police | 2170-0311-56044 | |
| | | | | | | 14,480.00 | Police Donations Fund Total | | | |
| DOWNTOWN BETTENDORF ORGANIZATION | 6/4/2025 | 130042 | 6/1/2025 | 60125 | June 2025 SSMID Payment | 96,577.23 | SSMID Downtown Area | Economic Development | 2400-3502-55081 | |
| | | | | | | 96,577.23 | SSMID Downtown Area Total | | | |
| FIELDS DEVELOPMENT, LLC | 6/4/2025 | 130048 | 6/1/2025 | 60125 | June 25 TIF Rebate | 9,307.00 | Fields Dev TIF | Economic Development | 2510-3502-55081 | |
| | | | | | | 9,307.00 | Fields Dev TIF Total | | | |
| CDCQC, LLC | 6/4/2025 | 130027 | 6/1/2025 | 60125 | June 25 TIF Rebate | 163,170.00 | CDCQC LLC TIF | Economic Development | 2536-3502-55081 | |
| | | | | | | 163,170.00 | CDCQC LLC TIF Total | | | |
| ASCENTRA CREDIT UNION | 6/4/2025 | 130022 | 6/1/2025 | 60125 | June 25 TIF Rebate | 127,047.00 | Ascentra TIF | Economic Development | 2537-3502-55081 | |
| | | | | | | 127,047.00 | Ascentra TIF Total | | | |
| MIDDLE & I-80 LLC | 6/4/2025 | 130073 | 6/1/2025 | 60125 | June 25 TIF Rebate | 362,908.50 | Middle I-80 LLC TIF | Economic Development | 2538-3502-55081 | |
| | | | | | | 362,908.50 | Middle I-80 LLC TIF Total | | | |
| TWIN BRIDGES ASSOCIATES LP | 6/4/2025 | 130096 | 6/1/2025 | 60125 | June 25 TIF Rebate | 119,019.50 | Twin Bridges TIF | Economic Development | 2539-3502-55081 | |
| | | | | | | 119,019.50 | Twin Bridges TIF Total | | | |
| JJZ DEVELOPMENT | 6/4/2025 | 130061 | 6/1/2025 | 60125 | June 25 TIF Rebate | 29,010.00 | JJZ LLC TIF | Economic Development | 2540-3502-55081 | |
| | | | | | | 29,010.00 | JJZ LLC TIF Total | | | |
| BETTPLEX, LLC | 6/4/2025 | 130026 | 6/1/2025 | 60125 | June 25 TIF Rebate | 84,010.00 | Sports Center TIF | Economic Development | 2542-3502-55081 | |
| | | | | | | 84,010.00 | Sports Center TIF Total | | | |
| MBGA | 6/4/2025 | 130071 | 6/1/2025 | 60125 | June 25 TIF Rebate | 54,596.37 | MBGA TIF | Economic Development | 2549-3502-55081 | |
| | | | | | | 54,596.37 | MBGA TIF Total | | | |
| BETTINDUSTRIAL | 6/4/2025 | 130025 | 6/1/2025 | 60125 | June 25 TIF Rebate | 156,630.50 | Bettindustrial TIF | Economic Development | 2550-3502-55081 | |
| | | | | | | 156,630.50 | Bettindustrial TIF Total | | | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 130059 | 6/1/2025 | 60125 | June 25 TIF Rebate | 426,573.00 | TIF/Rivers Edge | Economic Development | 2590-3502-55081 | |
| | | | | | | 426,573.00 | TIF/Rivers Edge Total | | | |
| CORN CRIB NURSERY | 6/4/2025 | 130033 | 5/20/2025 | 5501 | Middle Park Sign Landscaping & Retaining Walls | 21,895.00 | Capital Projects | Capital Projects | 4000-5050-55081 | Public Works Contingency |
| DAVENPORT ELECTRIC CONTRACT | 6/4/2025 | 130038 | 5/15/2025 | 57399 | Installation of new lighted street name signs | 4,906.00 | Capital Projects | Capital Projects | 4000-5050-55081 | |
| ELECTRICAL ENGINEERING & EQUIP. CO. | 5/28/2025 | 129998 | 5/14/2025 | 7550928-00 | City Hall Emergency Backup Generator - Sourcewell | 73,251.34 | Capital Projects | Capital Projects | 4000-5050-57074 | Generator Replacement |
| ELECTRICAL ENGINEERING & EQUIP. CO. | 5/28/2025 | 129998 | 5/14/2025 | 7550928-00 | CO #1 | 1,105.10 | Capital Projects | Capital Projects | 4000-5050-57074 | Generator Replacement |
| ELECTRICAL ENGINEERING & EQUIP. CO. | 5/28/2025 | 129998 | 5/14/2025 | 7550928-00 | CO #2 - Transfer Switch change | 2,860.96 | Capital Projects | Capital Projects | 4000-5050-57074 | Generator Replacement |
| ELECTRICAL ENGINEERING & EQUIP. CO. | 5/28/2025 | 129998 | 5/14/2025 | 7550928-00 | CO #3 - Tariff Surcharge | 4,677.00 | Capital Projects | Capital Projects | 4000-5050-57074 | Generator Replacement |
| GENERAL TRAFFIC CONTROLS INC | 6/4/2025 | 130050 | 3/25/2025 | 25845 | Cable bracket for sign | 418.00 | Capital Projects | Capital Projects | 4000-5050-56007 | Lighted Street Signs |
| GENERAL TRAFFIC CONTROLS INC | 6/4/2025 | 130050 | 5/9/2025 | 26034 | Cabinet for speed sign | 1,479.00 | Capital Projects | Capital Projects | 4000-5050-56007 | Various Tsl |
| HDR ENGINEERING, INC. | 6/4/2025 | 130054 | 5/3/2025 | 1200721654 | I80 & Middle on-call services from 3/30/25 to 5/3/25 | 1,310.40 | Capital Projects | Capital Projects | 4000-5050-55072 | Public Works Contingency |
| HDR ENGINEERING, INC. | 6/4/2025 | 130054 | 5/3/2025 | 1200721655 | Middle Road Reconstruction Preliminary Engineering | 66,578.67 | Capital Projects | Capital Projects | 4000-5050-55072 | MIDDLE ROAD PRELIM ENG. |
| HDR ENGINEERING, INC. | 6/4/2025 | 130054 | 5/19/2025 | 1200721812 | Forest Grove Drive Survey | 6,830.00 | Capital Projects | Capital Projects | 4000-5050-55072 | Cip Final Row Surveys |
| MOBOTREX, INC. | 6/4/2025 | 130075 | 3/13/2025 | 280669 | Push Buttons | 800.00 | Capital Projects | Capital Projects | 4000-5050-56007 | Update Traffic Signals |
| QUAD CITY PRESS | 5/28/2025 | 130008 | 4/14/2025 | 831564 | New PD Survey and Mailing Fees | 15,286.36 | Capital Projects | Capital Projects | 4000-5050-57074 | PD & CH FEASIBILITY STUDY |

Bettendorf City Council AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project |
|-----------------------------|------------|---------|--------------|------------------------|--|-------------------|--|------------------|-----------------|-------------------------------|
| RDG PLANNING & DESIGN, INC. | 5/28/2025 | 130009 | 4/30/2025 | 59817 | FY25 Forest Grove Park - Lodge/Pavilion Program, Concept Plan, | 7,500.00 | Capital Projects | Capital Projects | 4000-5050-55081 | Forest Grove Park Development |
| RDG PLANNING & DESIGN, INC. | 5/28/2025 | 130009 | 4/30/2025 | 59817 | CO #1 - Printing | 139.70 | Capital Projects | Capital Projects | 4000-5050-55081 | Forest Grove Park Development |
| C2 CREATIVE CONCRETE | 5/28/2025 | 129995 | 5/23/2025 | P2500102 4 | Retainage - 2024 Sidewalk Repair Program | 9,174.09 | Capital Projects | Capital Projects | 4000-5050-55081 | Sidewalk Repair 2024 |
| C2 CREATIVE CONCRETE | 5/28/2025 | 129995 | 5/23/2025 | P2500123 5 | Retainage - Contract 2024 Riverfront Bollards Replacement Project | 10,728.88 | Capital Projects | Capital Projects | 4000-5050-55081 | Riverfront Bollards |
| | | | | | | 228,940.50 | Capital Projects Total | | | |
| RACOM | 5/21/2025 | 129987 | 3/3/2025 | INV28307 | Cables, Antennas | 1,831.48 | Vehicle Replacement Fund | Finance | 4010-0242-56004 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000007A | 2026 International HV507 | 100,400.00 | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000007A | CO #1 | 9,807.00 | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000007A | 2026 International HV507 | 100,400.00 | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000007A | CO #1 | 9,807.00 | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000008 | CO #1 | - | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000008 | 2026 International HV507 | - | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000008 | CO #1 | - | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000008 | 2026 International HV507 | 114,900.00 | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000008 | CO #1 | 11,942.00 | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000008 | 2026 International HV507 | - | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000007 | Replacement of truck #s 20618, 20918, and 20919 | 278,349.00 | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| ASCENDANCE TRUCKS LLC | 5/28/2025 | 129993 | 5/27/2025 | VA353000007 | CO#1 - Price increase due to significant gap between the time of ordering (2022) and the time of anticipated delivery (2025) | 52,272.00 | Vehicle Replacement Fund | Finance | 4010-0242-57074 | |
| | | | | | | 679,708.48 | Vehicle Replacement Fund Total | | | |
| IOWA DEPARTMENT OF REVENUE | 3/28/2025 | 2500625 | 2/28/2025 | 0-007-906-173 | Monthly Return FEB | 4,913.72 | Sewer Utility | Balance Sheet | 5200-0000-20401 | |
| MIDWEST MAILWORKS INC. | 6/4/2025 | 130074 | 4/25/2025 | 254759 | 02 BILLS 04.15.2025 | 2,583.57 | Sewer Utility | Finance | 5200-0204-55081 | |
| DATA COMMAND | 6/4/2025 | 130037 | 5/8/2025 | 4772 | Data-command.com monitoring annual infoportal subscription | 1,155.00 | Sewer Utility | Public Works | 5200-0510-55081 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 1 21ST ST PUMP STATION 1326077019 | 401.45 | Sewer Utility | Public Works | 5200-0510-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3500 ELM ST LIFT STATION 1557077015 | 35.44 | Sewer Utility | Public Works | 5200-0510-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 6876 FOREST GROVE RD 1613130007 | 32.34 | Sewer Utility | Public Works | 5200-0510-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3500 ELM ST STORM PUMPS 2137169005 | 41.96 | Sewer Utility | Public Works | 5200-0510-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 7807 MIDDLE RD LIFTSTATION 2166077012 | 14.56 | Sewer Utility | Public Works | 5200-0510-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 3480 ELM ST PUMP STATION 2397077018 | 73.90 | Sewer Utility | Public Works | 5200-0510-54008 | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 4134 DEPOT ST, WASTE GRINDER 4943155009 | 16.04 | Sewer Utility | Public Works | 5200-0510-54008 | |
| C2 CREATIVE CONCRETE | 5/28/2025 | 129995 | 5/23/2025 | P2500215 5 | PE5 Retainage - Palmer Hills Golf Course Entrance Culvert Replacement | 3,998.42 | Sewer Utility | Capital Projects | 5200-5059-55081 | PHGC ENTRANCE CULVERT |
| | | | | | | 13,266.40 | Sewer Utility Total | | | |
| IOWA DEPARTMENT OF REVENUE | 3/28/2025 | 2500625 | 2/28/2025 | 0-007-906-173 | Monthly Return FEB | 38.96 | Solid Waste/Recycling Ent | Balance Sheet | 5500-0000-20401 | |
| MIDWEST MAILWORKS INC. | 6/4/2025 | 130074 | 4/25/2025 | 254759 | 02 BILLS 04.15.2025 | 2,583.55 | Solid Waste/Recycling Ent | Finance | 5500-0216-55081 | |
| CITY OF DAVENPORT | 5/28/2025 | 129996 | 5/5/2025 | 1337738 | Yard Waste Jan, Feb, March, April 2025 | 2,193.00 | Solid Waste/Recycling Ent | Public Works | 5500-0516-54017 | |
| RUSH ROLL-OFF, INC. | 6/4/2025 | 130087 | 5/16/2025 | 5333 | tire removal | 250.00 | Solid Waste/Recycling Ent | Public Works | 5500-0528-55081 | |
| | | | | | | 5,065.51 | Solid Waste/Recycling Ent Total | | | |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | 2900 LEARNING CAMPUS DR UTILITIES 5437075010 | 2,454.61 | Family Museum | Public Works | 5550-0523-54008 | Fam Museum Maint FY24/25 |
| VESTIS | 6/4/2025 | 130099 | 5/14/2025 | 6150545593 | Museum - First Aid Supplies | 59.96 | Family Museum | Family Museum | 5550-1101-56007 | |
| VESTIS | 6/4/2025 | 130099 | 5/21/2025 | 6150548617 | Museum - First Aid Supplies | 59.96 | Family Museum | Family Museum | 5550-1101-56007 | |
| POSTAL SOURCE | 6/4/2025 | 130081 | 5/21/2025 | INV117342 | Museum - Postage Machine Ink Cartridge | 258.95 | Family Museum | Family Museum | 5550-1101-56007 | |
| AVENUE RENTAL, INC. | 6/4/2025 | 130023 | 5/9/2025 | 144320 | Scissor Lift Rental | 210.00 | Family Museum | Family Museum | 5550-1102-54024 | Fam Museum Maint FY24/25 |
| ST. AMBROSE UNIVERSITY | 6/4/2025 | 130092 | 5/27/2025 | 60125 | Family Museum Dance Recital at Galvin Fine Arts Center 5/27-5/31/25 | 7,500.00 | Family Museum | Family Museum | 5550-1102-56045 | |
| DELANEY CARROLL | 6/4/2025 | 130040 | 5/22/2025 | 52225 | Museum - Art Academy Assistant 5/11-24 | 70.00 | Family Museum | Family Museum | 5550-1102-56007 | |
| JESSICA KENNEDY | 6/4/2025 | 130060 | 5/21/2025 | 2001733 | Museum - Refund for Summer Camps Cancelled minus 10% Handling Fee | 355.50 | Family Museum | Family Museum | 5550-1102-56013 | |
| | | | | | | 10,968.98 | Family Museum Total | | | |
| JON WADDELL GOLF SHOP LLC | 6/4/2025 | 130062 | 4/30/2025 | 250430 | Proshop Payables | 26,492.90 | Palmer Hills Golf Course | Balance Sheet | 5600-0000-20024 | |
| JON WADDELL GOLF SHOP LLC | 6/4/2025 | 130062 | 4/30/2025 | 250430 | Proshop Tax | 1,950.02 | Palmer Hills Golf Course | Balance Sheet | 5600-0000-20024 | |
| JON WADDELL GOLF SHOP LLC | 6/4/2025 | 130062 | 4/30/2025 | 250430 | City's 3% | (797.78) | Palmer Hills Golf Course | Balance Sheet | 5600-0000-20024 | |
| JON WADDELL GOLF SHOP LLC | 6/4/2025 | 130062 | 4/30/2025 | 250430 | Club Repair | 1,358.36 | Palmer Hills Golf Course | Balance Sheet | 5600-0000-20007 | |
| JON WADDELL GOLF SHOP LLC | 6/4/2025 | 130062 | 4/30/2025 | 250430 | Lessons | 4,330.00 | Palmer Hills Golf Course | Balance Sheet | 5600-0000-20020 | |
| JON WADDELL GOLF SHOP LLC | 6/4/2025 | 130062 | 4/30/2025 | 250430 | Tax Exempt Sale | 100.40 | Palmer Hills Golf Course | Balance Sheet | 5600-0000-20025 | |
| M & M GOLF CARS LLC | 6/4/2025 | 130069 | 4/30/2025 | 250430 | 33% of Golf Cart Payables - April 2025 | 13,702.63 | Palmer Hills Golf Course | Balance Sheet | 5600-0000-20016 | |
| LIGHTING MAINTENANCE INC. | 5/28/2025 | 130004 | 5/5/2025 | 16640 | Electrical Work for Irrigation Building | 313.50 | Palmer Hills Golf Course | Public Works | 5600-0523-54001 | PHGC Maint FY24/25 |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | PHGC Sign 0549137076APR25 | 61.87 | Palmer Hills Golf Course | Public Works | 5600-0523-54008 | PHGC Maint FY24/25 |

Bettendorf City Council AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project |
|-----------------------------------|------------|---------|--------------|------------------------|--|-------------------|---------------------------------------|--------------------|-----------------|---------------------------|
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | PHGC Maintenance Bldg 1116077014APR25 | 186.64 | Palmer Hills Golf Course | Public Works | 5600-0523-54008 | PHGC Maint FY24/25 |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | PHGC Pump House 1137077015APR25 | 383.01 | Palmer Hills Golf Course | Public Works | 5600-0523-54008 | PHGC Maint FY24/25 |
| MID AMERICAN ENERGY | 5/21/2025 | 129981 | 4/30/2025 | 24750-88004 April 2025 | PHGC Clubhouse 4278125007APR25 | 1,280.77 | Palmer Hills Golf Course | Public Works | 5600-0523-54008 | PHGC Maint FY24/25 |
| JOHN MILETICH | 5/21/2025 | 129975 | 5/3/2025 | L2025.75 | April 2025-Nov 2025 Pond Maintenance Program | 2,254.38 | Palmer Hills Golf Course | Public Works | 5600-0523-55081 | PHGC Maint FY24/25 |
| JANUS BUILDING SERVICES, INC. | 5/21/2025 | 129973 | 4/30/2025 | 14535 | April 2025 Window Washing | 70.00 | Palmer Hills Golf Course | Public Works | 5600-0524-55081 | PHGC Custodial FY24/25 |
| VESTIS | 6/4/2025 | 130099 | 5/9/2025 | 6150543482 | First Aid Service | 25.00 | Palmer Hills Golf Course | Parks & Recreation | 5600-0711-56010 | |
| 7G DISTRIBUTING LLC | 5/21/2025 | 129961 | 4/30/2025 | 360594 | 10 Cases Beer - Resale | 275.90 | Palmer Hills Golf Course | Parks & Recreation | 5600-0713-56027 | The Forge Putting Course |
| 7G DISTRIBUTING LLC | 5/21/2025 | 129961 | 5/7/2025 | 362801 | 4 Cases Beer - Resale | 109.70 | Palmer Hills Golf Course | Parks & Recreation | 5600-0713-56027 | The Forge Putting Course |
| 7G DISTRIBUTING LLC | 5/21/2025 | 129961 | 5/14/2025 | 365087 | 10 Cases Beer - Resale | 271.90 | Palmer Hills Golf Course | Parks & Recreation | 5600-0713-56027 | The Forge Putting Course |
| COCA-COLA ATLANTIC BOTTLING CO | 6/4/2025 | 130032 | 5/14/2025 | 5142875 | 3 Cases Soda - Resale | 70.44 | Palmer Hills Golf Course | Parks & Recreation | 5600-0713-56026 | The Forge Putting Course |
| IOWA BEVERAGE SYSTEMS INC | 5/21/2025 | 129970 | 5/2/2025 | W-5412690 | Beer & Seltzer For Resale | 133.80 | Palmer Hills Golf Course | Parks & Recreation | 5600-0713-56027 | |
| IOWA BEVERAGE SYSTEMS INC | 5/21/2025 | 129970 | 5/9/2025 | W-5417267 | 3 Cases Beer & Seltzer - Resale | 91.55 | Palmer Hills Golf Course | Parks & Recreation | 5600-0713-56027 | The Forge Putting Course |
| VESTIS | 6/4/2025 | 130099 | 5/9/2025 | 6150543481 | First Aid Service | 29.98 | Palmer Hills Golf Course | Parks & Recreation | 5600-0715-56010 | |
| VESTIS | 6/4/2025 | 130099 | 5/9/2025 | 6150543478 | Laundry Services | 50.65 | Palmer Hills Golf Course | Parks & Recreation | 5600-0715-55081 | |
| MIDWEST IRRIGATION CO. | 5/21/2025 | 129982 | 4/24/2025 | PGGC04-25 | Irrigation Pump House Maintenance | 588.90 | Palmer Hills Golf Course | Parks & Recreation | 5600-0715-54001 | |
| MULGREW OIL & PROPANE | 5/21/2025 | 129983 | 5/6/2025 | 1607088 | Diesel Fuel | 1,000.46 | Palmer Hills Golf Course | Parks & Recreation | 5600-0715-56024 | |
| MULGREW OIL & PROPANE | 5/21/2025 | 129983 | 5/6/2025 | 1607085 | Gasoline | 1,696.27 | Palmer Hills Golf Course | Parks & Recreation | 5600-0715-56024 | |
| COMFORTS OF HOME SERVICES | 5/28/2025 | 129997 | 5/16/2025 | 3240 | 2 Station 12' Restroom Trailer with Direct Sewer and Water | 18,266.19 | Palmer Hills Golf Course | Capital Projects | 5600-5059-57074 | RESTROOM AT #5 & #16 TEE |
| COMFORTS OF HOME SERVICES | 5/28/2025 | 129997 | 5/16/2025 | 3240 | 6 Station 18' WB Restroom Trailer with Direct Sewer, Power and | - | Palmer Hills Golf Course | Capital Projects | 5600-5059-57074 | RESTROOM AT #5 & #16 TEE |
| COMFORTS OF HOME SERVICES | 5/28/2025 | 129997 | 5/16/2025 | 3240 | CO #1 - Options for 2nd 12' trailer | - | Palmer Hills Golf Course | Capital Projects | 5600-5059-57074 | RESTROOM AT #5 & #16 TEE |
| COMFORTS OF HOME SERVICES | 5/28/2025 | 129997 | 5/16/2025 | 3241 | 2 Station 12' Restroom Trailer with Direct Sewer and Water | 18,266.19 | Palmer Hills Golf Course | Capital Projects | 5600-5059-57074 | RESTROOM AT #5 & #16 TEE |
| COMFORTS OF HOME SERVICES | 5/28/2025 | 129997 | 5/16/2025 | 3241 | 6 Station 18' WB Restroom Trailer with Direct Sewer, Power and | - | Palmer Hills Golf Course | Capital Projects | 5600-5059-57074 | RESTROOM AT #5 & #16 TEE |
| COMFORTS OF HOME SERVICES | 5/28/2025 | 129997 | 5/16/2025 | 3241 | CO #1 - Options for 2nd 12' trailer | - | Palmer Hills Golf Course | Capital Projects | 5600-5059-57074 | RESTROOM AT #5 & #16 TEE |
| COMFORTS OF HOME SERVICES | 5/28/2025 | 129997 | 5/16/2025 | 3242 | 2 Station 12' Restroom Trailer with Direct Sewer and Water | - | Palmer Hills Golf Course | Capital Projects | 5600-5059-57074 | RESTROOM AT #5 & #16 TEE |
| COMFORTS OF HOME SERVICES | 5/28/2025 | 129997 | 5/16/2025 | 3242 | 6 Station 18' WB Restroom Trailer with Direct Sewer, Power and | 27,793.75 | Palmer Hills Golf Course | Capital Projects | 5600-5059-57074 | RESTROOM AT #5 & #16 TEE |
| COMFORTS OF HOME SERVICES | 5/28/2025 | 129997 | 5/16/2025 | 3242 | CO #1 - Options for 2nd 12' trailer | - | Palmer Hills Golf Course | Capital Projects | 5600-5059-57074 | RESTROOM AT #5 & #16 TEE |
| | | | | | | 120,357.38 | Palmer Hills Golf Course Total | | | |
| ULINE, INC. | 6/4/2025 | 130097 | 4/30/2025 | 192298802 | Standard Plastic Aframe Sign | 1,328.35 | Aquatic Center Fund | Capital Projects | 5750-5059-56007 | Splash Landing Replcmnt |
| | | | | | | 1,328.35 | Aquatic Center Fund Total | | | |
| IOWA DEPARTMENT OF REVENUE | 3/28/2025 | 2500625 | 2/28/2025 | 0-007-906-173 | Monthly Return FEB | 3,419.02 | Storm Water Utility | Balance Sheet | 5800-0000-20401 | |
| MIDWEST MAILWORKS INC. | 6/4/2025 | 130074 | 4/25/2025 | 254759 | 02 BILLS 04.15.2025 | 2,583.55 | Storm Water Utility | Finance | 5800-0219-55081 | |
| DATA COMMAND | 6/4/2025 | 130037 | 5/8/2025 | 4772 | Data-command.com monitoring annual infoportal subscription | 1,155.00 | Storm Water Utility | Public Works | 5800-0519-55081 | |
| RIVERSTONE GROUP INC. | 6/4/2025 | 130086 | 5/13/2025 | 1383673 | Moencks Rd project | 2,227.27 | Storm Water Utility | Public Works | 5800-0519-56007 | W Pigeon Ck Ccr To Surrey |
| FOTH INFRASTRUCTURE & ENVIRONMENT | 6/4/2025 | 130049 | 5/15/2025 | 96941 | Inv. 96941 (1) Design for Pigeon Creek Channel Stabilization | 17,756.50 | Storm Water Utility | Capital Projects | 5800-5059-55072 | WHITE POST RD STORM REP |
| | | | | | | 27,141.34 | Storm Water Utility Total | | | |
| DULTMEIER SALES LLC | 6/4/2025 | 130043 | 5/5/2025 | 4245712 | Foaming Brush - Bus Wash | 138.00 | Transit | Public Works | 5850-0547-54006 | Maint Ctr Maint FY24/25 |
| MID AMERICAN ENERGY | 5/28/2025 | 130005 | 4/30/2025 | 30450-92009 - APR25 | VEHICLE WASH UTILITY ALLOCATION 2607077010 | 182.41 | Transit | Public Works | 5850-0547-54008 | |
| DAVENPORT PRINTING COMPANY | 6/4/2025 | 130039 | 5/22/2025 | 251473 | paratransit application (new process) letter & mailing | 687.44 | Transit | Public Works | 5850-0557-55014 | |
| | | | | | | 1,007.85 | Transit Total | | | |

Bettendorf City Council AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project |
|------------------------------------|------------|---------|--------------|-----------------|--------------------------------|------------------|-------------------------------|--------------|-----------------|---------|
| 1ST AYD CORPORATION | 6/4/2025 | 130017 | 5/16/2025 | PSI786259 | operating supplies | 444.14 | Municipal Garage | Public Works | 6830-0520-56007 | |
| BAUER BUILT, INC. | 6/4/2025 | 130024 | 5/12/2025 | 230130424 | install tires on parks trailer | 672.00 | Municipal Garage | Public Works | 6830-0520-54004 | |
| BAUER BUILT, INC. | 6/4/2025 | 130024 | 5/15/2025 | 230130513 | stock tires | 1,362.12 | Municipal Garage | Public Works | 6830-0520-56024 | |
| CENTRAL PETROLEUM EQUIPMENT CO | 6/4/2025 | 130030 | 5/8/2025 | 51092 | fuel island repair | 311.40 | Municipal Garage | Public Works | 6830-0520-54001 | |
| CUMMINS INC. | 6/4/2025 | 130035 | 5/20/2025 | J9-250590562 | stock filters | 612.93 | Municipal Garage | Public Works | 6830-0520-56024 | |
| EASTERN IOWA TIRE, INC. | 6/4/2025 | 130044 | 5/12/2025 | 100173669 | stock tires | 891.75 | Municipal Garage | Public Works | 6830-0520-56024 | |
| EASTERN IOWA TIRE, INC. | 6/4/2025 | 130044 | 5/19/2025 | 100174333 | stock tires | 90.40 | Municipal Garage | Public Works | 6830-0520-56024 | |
| EASTERN IOWA TIRE, INC. | 6/4/2025 | 130044 | 5/19/2025 | 100174321 | stock tires | 801.35 | Municipal Garage | Public Works | 6830-0520-56024 | |
| ELLIOTT EQUIPMENT CO. | 6/4/2025 | 130046 | 5/2/2025 | 185967 | stock light | 37.23 | Municipal Garage | Public Works | 6830-0520-56024 | |
| GFL ENVIRONMENTAL SERVICES USA, IN | 5/28/2025 | 129999 | 4/29/2025 | LQ02783018 | operating supplies | 254.27 | Municipal Garage | Public Works | 6830-0520-54006 | |
| GREEN BUICK GMC INC. | 6/4/2025 | 130052 | 5/16/2025 | 165087 | stock brakes | 383.27 | Municipal Garage | Public Works | 6830-0520-56024 | |
| GREEN BUICK GMC INC. | 6/4/2025 | 130052 | 5/20/2025 | 779002 | alignment 2318 | 149.05 | Municipal Garage | Public Works | 6830-0520-54004 | |
| GREEN BUICK GMC INC. | 6/4/2025 | 130052 | 5/20/2025 | 165108 | wheels for 2318 | 669.92 | Municipal Garage | Public Works | 6830-0520-56024 | |
| I.W.I. MOTOR PARTS | 6/4/2025 | 130056 | 5/6/2025 | 250812468 | stock brakes | 90.91 | Municipal Garage | Public Works | 6830-0520-56024 | |
| I.W.I. MOTOR PARTS | 6/4/2025 | 130056 | 5/15/2025 | 441-350919 | stock oil | 22.23 | Municipal Garage | Public Works | 6830-0520-56024 | |
| I.W.I. MOTOR PARTS | 6/4/2025 | 130056 | 5/15/2025 | 442-329284 | stock oil | 44.46 | Municipal Garage | Public Works | 6830-0520-56024 | |
| I.W.I. MOTOR PARTS | 6/4/2025 | 130056 | 5/15/2025 | 431-919581 | brake pads - 1714 | 84.79 | Municipal Garage | Public Works | 6830-0520-56024 | |
| I.W.I. MOTOR PARTS | 6/4/2025 | 130056 | 5/15/2025 | 441-350945 | rotor - 1714 | 107.30 | Municipal Garage | Public Works | 6830-0520-56024 | |
| I.W.I. MOTOR PARTS | 6/4/2025 | 130056 | 5/15/2025 | 442-329296 | rotor pads - 1714 | 232.03 | Municipal Garage | Public Works | 6830-0520-56024 | |
| I.W.I. MOTOR PARTS | 6/4/2025 | 130056 | 5/19/2025 | 442329604 | stock brakes | 329.49 | Municipal Garage | Public Works | 6830-0520-56024 | |
| I.W.I. MOTOR PARTS | 6/4/2025 | 130056 | 5/20/2025 | 442-329807 | brakes 1217 | 125.98 | Municipal Garage | Public Works | 6830-0520-56024 | |
| KILBURG EQUIPMENT, LLC. | 6/4/2025 | 130063 | 5/19/2025 | 4897 | stock filters & seal | 872.70 | Municipal Garage | Public Works | 6830-0520-56024 | |
| KILBURG EQUIPMENT, LLC. | 6/4/2025 | 130063 | 5/19/2025 | 4899 | stock chain & arm | 2,446.27 | Municipal Garage | Public Works | 6830-0520-56024 | |
| LAWSON PRODUCTS, INC. | 6/4/2025 | 130065 | 5/9/2025 | 9312468263 | operating supplies | 411.11 | Municipal Garage | Public Works | 6830-0520-56007 | |
| LAWSON PRODUCTS, INC. | 6/4/2025 | 130065 | 5/16/2025 | 9312486043 | OPERATING SUPPLIES | 263.68 | Municipal Garage | Public Works | 6830-0520-56007 | |
| MACQUEEN EQUIPMENT | 6/4/2025 | 130070 | 5/15/2025 | P27185 | stock pumps | 1,030.03 | Municipal Garage | Public Works | 6830-0520-56024 | |
| MHC KENWORTH | 6/4/2025 | 130072 | 5/14/2025 | T01135600216689 | null | 646.69 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/12/2025 | 884661 | grease tubes - parks | 183.20 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/13/2025 | 884899 | stock filters | 78.54 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/14/2025 | 885013 | stock filters | 82.14 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/14/2025 | 884979 | stock wipers | 93.72 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/15/2025 | 885139 | stock filters | 20.00 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/15/2025 | 885220 | stock filters | 22.53 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/16/2025 | 885344 | stock filters | 24.83 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/19/2025 | 885512 | operating supplies | 55.47 | Municipal Garage | Public Works | 6830-0520-56007 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/19/2025 | 885509 | grease | 183.20 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/20/2025 | 885663 | operating supplies | 8.52 | Municipal Garage | Public Works | 6830-0520-56007 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/20/2025 | 885657 | filter & bulbs stock | 70.02 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/21/2025 | 885856 | stock filters | 18.96 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/21/2025 | 885864 | stock filters | 47.34 | Municipal Garage | Public Works | 6830-0520-56024 | |
| NAPA AUTO PARTS | 6/4/2025 | 130076 | 5/21/2025 | 885821 | rotor 1217 | 189.78 | Municipal Garage | Public Works | 6830-0520-56024 | |
| PLEASANT VALLEY COMMUNITY | 6/4/2025 | 130080 | 5/12/2025 | 25-214 | fuel - April 2025 | 34,750.36 | Municipal Garage | Public Works | 6830-0520-56035 | |
| RILCO FLUID CARE, INC. | 6/4/2025 | 130085 | 5/14/2025 | 559542 | stock oil | 1,539.30 | Municipal Garage | Public Works | 6830-0520-56036 | |
| S J SMITH CO. INC. | 6/4/2025 | 130088 | 5/5/2025 | 6784600 | operating supplies | 58.22 | Municipal Garage | Public Works | 6830-0520-56007 | |
| SADLER POWER TRAIN | 6/4/2025 | 130089 | 5/19/2025 | 210246762 | coolant cap - 1317 | 7.96 | Municipal Garage | Public Works | 6830-0520-56024 | |
| TERMINAL SUPPLY COMPANY | 6/4/2025 | 130094 | 5/13/2025 | 28587-00 | operating supplies | 142.29 | Municipal Garage | Public Works | 6830-0520-56007 | |
| TERMINAL SUPPLY COMPANY | 6/4/2025 | 130094 | 5/13/2025 | 28587-00 | stock lights | 67.30 | Municipal Garage | Public Works | 6830-0520-56024 | |
| ASCENDANCE TRUCKS LLC | 6/4/2025 | 130021 | 5/9/2025 | XA353001731:01 | speaker - 1802 | 20.87 | Municipal Garage | Public Works | 6830-0520-56024 | |
| ASCENDANCE TRUCKS LLC | 6/4/2025 | 130021 | 5/16/2025 | XA353001835:01 | radio - 1802 | 219.74 | Municipal Garage | Public Works | 6830-0520-56024 | |
| ASCENDANCE TRUCKS LLC | 6/4/2025 | 130021 | 5/20/2025 | XA353001901:01 | stock filters | 48.72 | Municipal Garage | Public Works | 6830-0520-56024 | |
| ASCENDANCE TRUCKS LLC | 6/4/2025 | 130021 | 5/20/2025 | XA353001901:02 | wiper motor stock | 341.08 | Municipal Garage | Public Works | 6830-0520-56024 | |
| ASCENDANCE TRUCKS LLC | 6/4/2025 | 130021 | 5/22/2025 | XA353001935:01 | stock glass | 122.63 | Municipal Garage | Public Works | 6830-0520-56024 | |
| VALLEY DISTRIBUTION CORPORATION | 6/4/2025 | 130098 | 5/12/2025 | 524870 | reel & oil catch | 1,149.00 | Municipal Garage | Public Works | 6830-0520-56004 | |
| | | | | | | 52,933.22 | Municipal Garage Total | | | |

Bettendorf City Council AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project |
|-------------------------------------|------------|---------|--------------|------------------------------|---|---------------------|---------------------------------------|-----------------|-----------------|---------------------|
| EMPLOYEE BENEFIT SYSTEM | 5/21/2025 | 129966 | 5/16/2025 | 47873 | June monthly billing, INV 47873 | 888.94 | Employee Insurance | Mayor & Council | 6860-0106-55065 | |
| INSURANCE STRATEGIES CONSULTING LLC | 6/4/2025 | 130058 | 5/13/2025 | 10089 | 509A Study for plan year ending February 28, 2025 | 995.00 | Employee Insurance | Mayor & Council | 6860-0106-55072 | |
| YMCA OF IOWA MISSISSIPPI VALLEY | 6/4/2025 | 130100 | 5/19/2025 | 52025BETT | INV 5/2025 BETT - May monthly billing | 2,620.00 | Employee Insurance | Mayor & Council | 6860-0106-55079 | |
| HM INSURANCE GROUP | 6/4/2025 | 130055 | 6/1/2025 | 409704June | SPECIFIC COVERAGE | 45,506.78 | Employee Insurance | Mayor & Council | 6860-0106-55067 | |
| HM INSURANCE GROUP | 6/4/2025 | 130055 | 6/1/2025 | 409704June | AGGREGATE COVERAGE | 1,773.74 | Employee Insurance | Mayor & Council | 6860-0106-55066 | |
| | | | | | | 51,784.46 | Employee Insurance Total | | | |
| ACTIVE NETWORK | 6/4/2025 | 130020 | 5/15/2025 | 4100184805 | Gateway API: Pro Integration 2/7/25 - 2/6/26 | 3,600.00 | Information Services | Finance | 6880-0231-55023 | IT - Finance |
| CDW GOVERNMENT INC. | 6/4/2025 | 130028 | 4/2/2025 | AD5H88W | qty 3 Cisco C1000-24P-4G-L switches | 4,200.00 | Information Services | Finance | 6880-0231-56004 | IT - Finance |
| LIGHTING MAINTENANCE INC. | 6/4/2025 | 130067 | 4/28/2025 | 16174 | Repair siren location #1 and #3 and replace their batteries | 5,799.00 | Information Services | Finance | 6880-0231-55072 | IT - Administration |
| ONENECK IT SOLUTIONS LLC | 5/21/2025 | 129984 | 4/16/2025 | INV000048458 | Cisco phone subscription | 1,052.50 | Information Services | Finance | 6880-0231-55023 | IT - Finance |
| ONENECK IT SOLUTIONS LLC | 6/4/2025 | 130077 | 5/22/2025 | INV000048985 | Cisco phone subscription | 1,052.50 | Information Services | Finance | 6880-0231-55023 | |
| ONENECK IT SOLUTIONS LLC | 5/28/2025 | 130007 | 5/27/2025 | INV000047734 | Cisco FPR1120 Threat | 1,314.80 | Information Services | Finance | 6880-0231-55023 | |
| SOFTWARECENTRAL A/S | 5/28/2025 | 130010 | 4/25/2025 | 27401 | 1 year subscription for Robopack, covering 274 devices. \$89.00 | 1,068.00 | Information Services | Finance | 6880-0231-55023 | IT - Finance |
| | | | | | | 18,086.80 | Information Services Total | | | |
| IOWA DEPARTMENT OF REVENUE | 5/2/2025 | 2500633 | 5/2/2025 | 0-008-268-956 | 05/02/25 PAY DATE IA W/H TAX | 23,127.44 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21006 | |
| AFLAC | 5/2/2025 | 2500628 | 5/2/2025 | PR 5.02.25 CI WRAP | CI WRAP CONTRIBUTION | 112.45 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21014 | |
| AMERICAN FUNDS ROTH IRA WIRE | 5/2/2025 | 2500638 | 5/2/2025 | 1668-3983-42312 | AFTER TAX ROTH IRA CONTRIBUTIONS | 25.00 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21014 | |
| ANCHOR NATIONAL LIFE INSURANCE CO | 5/30/2025 | 130011 | 5/30/2025 | PR 05.30.25 | ANCHOR LIFE | 232.33 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21020 | |
| BETTENDORF POLICE BENEVOLENT FUND | 5/2/2025 | 2500631 | 5/2/2025 | PR 5.02.25 BENVLT FUND | 05/02/25 PR CONTRIBUTIONS | 96.00 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21029 | |
| CITY OF BETTENDORF | 5/30/2025 | 130012 | 5/30/2025 | PR 05.30.25 COB | HEALTH INSURANCE CATCH UP | 65.59 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21018 | |
| CITY OF BETTENDORF | 5/30/2025 | 130012 | 5/30/2025 | PR 05.30.25 COB | DEPENDENT CARE | 1,922.70 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21020 | |
| CITY OF BETTENDORF | 5/30/2025 | 130012 | 5/30/2025 | PR 05.30.25 COB | PREM PASS THRU | 2,140.66 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21020 | |
| CITY OF BETTENDORF | 5/30/2025 | 130012 | 5/30/2025 | PR 05.30.25 COB | COMPUTER LOANS | 35.06 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21029 | |
| CITY OF BETTENDORF | 5/30/2025 | 130012 | 5/30/2025 | PR 05.30.25 COB | FLEX SPENDING | 5,294.87 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21020 | |
| COLLECTION SERVICES CENTER | 5/2/2025 | 2500637 | 5/2/2025 | 2598126 | CHILD/SPOUSE SUPPORT | 1,825.70 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21016 | |
| GREAT AMERICAN PLAN ADMINISTRATORS | 5/2/2025 | 2500629 | 5/2/2025 | PR 5.02.25 GREAT AMERICAN | 05/02/25 PR CONTRIBUTIONS | 674.14 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21020 | |
| ICMA RETIREMENT TRUST - 457 | 5/2/2025 | 2500626 | 5/2/2025 | 6705929 | 457 LOAN PAYMENTS | 4,178.69 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21023 | |
| ICMA RETIREMENT TRUST - 457 | 5/2/2025 | 2500626 | 5/2/2025 | 6705929 | 457 CONTRIBUTION PAYMENTS | 77,387.27 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21020 | |
| ICMA RETIREMENT TRUST - 457 | 5/2/2025 | 2500626 | 5/2/2025 | 6705929 | 457 B ROTH | 2,907.72 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21014 | |
| ICMA RETIREMENT TRUST - 457 | 5/2/2025 | 2500639 | 5/2/2025 | 7404894 | ICMA ROTH AFTER TAX | 5,720.99 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21014 | |
| ILLINOIS DEPARTMENT OF REVENUE | 5/2/2025 | 2500634 | 5/2/2025 | 1-605-490-608 | ILLINOIS STATE W/H TAX | 3,788.56 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21007 | |
| INTERNAL REVENUE SERVICE | 5/2/2025 | 2500632 | 5/2/2025 | 836853424 | FEDERAL W/H | 93,762.59 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21005 | |
| INTERNAL REVENUE SERVICE | 5/2/2025 | 2500632 | 5/2/2025 | 836853424 | FICA W/H TAX | 79,669.26 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21008 | |
| INTERNAL REVENUE SERVICE | 5/2/2025 | 2500632 | 5/2/2025 | 836853424 | MEDICARE W/H TAX | 29,896.50 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21009 | |
| IOWA C.O.P.S. | 5/2/2025 | 2500630 | 5/2/2025 | PR 5.02.25 IA COPS | 05/02/25 PR CONTRIBUTIONS | 35.00 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21029 | |
| IPERS COLLECTIONS | 5/2/2025 | 2500635 | 5/2/2025 | 121181886 | EMPLOYEE SHARE IPERS | 39,154.72 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21010 | |
| IPERS COLLECTIONS | 5/2/2025 | 2500635 | 5/2/2025 | 121181886 | CITY SHARE IPERS | 58,763.12 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21010 | |
| LINCOLN LIFE | 5/30/2025 | 130014 | 5/30/2025 | PR 05.30.25 | LINCOLN LIFE | 1,060.65 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21020 | |
| MUNICIPAL FIRE & POLICE | 5/2/2025 | 2500627 | 5/2/2025 | 05/02/2025 MFPRSI | EMPLOYEE SHARE POLICE PENSION | 18,485.41 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21011 | |
| MUNICIPAL FIRE & POLICE | 5/2/2025 | 2500627 | 5/2/2025 | 05/02/2025 MFPRSI | CITY SHARE POLICE PENSION | 43,861.69 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21003 | |
| MUNICIPAL FIRE & POLICE | 5/2/2025 | 2500627 | 5/2/2025 | 05/02/2025 MFPRSI | EMP SHARE FIRE PENSION | 13,329.78 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21012 | |
| MUNICIPAL FIRE & POLICE | 5/2/2025 | 2500627 | 5/2/2025 | 05/02/2025 MFPRSI | CITY SHARE FIRE PENSION | 31,628.56 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21004 | |
| NATIONWIDE RETIREMENT SOLUTIONS | 5/2/2025 | 2500636 | 5/2/2025 | PR 5.02.25 NATIONWIDE | 457 CONTRIBUTIONS | 763.00 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21020 | |
| PACIFIC LIFE INSURANCE COMPANY | 5/30/2025 | 130015 | 5/30/2025 | PR 05.30.25 PACIFIC LIFE | PACIFIC LIFE INSURANCE | 312.33 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21020 | |
| STATE DISBURSEMENT UNIT | 5/30/2025 | 130016 | 5/30/2025 | PR 05.30.25 IL CHILD SUPPORT | IL CHILD SUPPORT | 937.92 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21016 | |
| UNITED WAY QUAD CITIES | 5/2/2025 | 2500640 | 5/2/2025 | PR 5.02.25 UNITED WAY | 05/02/25 PR CONTRIBUTIONS | 756.00 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21017 | |
| FAMILY SUPPORT PAYMENT CENTER | 5/30/2025 | 130013 | 5/30/2025 | PR 05.30.25 MO CHILD SUPPORT | MO CHILD SUPPORT | 8.62 | Liability Clearing Acct. | Balance Sheet | 8100-0000-21016 | |
| | | | | | | 541,960.32 | Liability Clearing Acct. Total | | | |
| | | | | | | 3,782,254.42 | Grand Total | | | |

Bettendorf City QCWCC AP Disbursements - 06.03.25

| Vendor Name | Check Date | Check # | Invoice Date | Invoice # | Memo | Amount | Fund | Dept | Account # | Project # |
|--------------------------------|------------|---------|--------------|----------------|-------------------------------------|-------------------|---------------------------|-----------------------------------|-----------------|--------------|
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | Finance salary and benefits | 5,433.49 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-51021 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | facility maint salary wages and | 7,022.42 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-51021 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | repairs and maint | 2,062.25 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-54001 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | mediacom | 608.46 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-54009 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | food invoices | 39,252.96 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-56028 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | beverage invoices | 7,663.61 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-56029 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | salary wages and benefits | 45,489.32 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-51021 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | supplies general office | 8,636.41 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-56006 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | contract services | (287.94) | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-55081 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | DECORATIONS | - | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-56006 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | ADVERTISING | 6,726.30 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-55002 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | ENTERTAINER FEES | - | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-56038 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | PROFESSION SERVICES | - | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-55081 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | supplies | 675.37 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-56006 | |
| ISLE OF CAPRI BETTENDORF, L.C. | 6/4/2025 | 3752 | 4/30/2025 | 51925 | fees and lic | 544.10 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-56039 | |
| REPUBLIC SERVICES | 6/4/2025 | 3753 | 6/1/2025 | 0400-002429972 | JUNE GARBAGE PICKUP AND | 877.60 | QC Waterfront Conv Ctr Op | QCWCC - Oper | 5900-2001-55072 | |
| | | | | | | 124,704.35 | | QCWCC - Oper Total | | |
| WILSON RESTAURANT SUPPLY, INC. | 5/21/2025 | 3751 | 3/1/2025 | INV0237870A | Nesting Tables for QCWCC - Qty 2 | 14,154.07 | QC Waterfront Conv Ctr Op | Capital Projects | 5900-5059-57074 | Event Center |
| | | | | | | 14,154.07 | | Capital Projects Total | | |
| | | | | | | 138,858.42 | | Grand Total | | |